



Development Customer Services Department

The Village of Oak Park

123 Madison Street

Oak Park, IL. 60302-4272

P: 708.358.5430

TTY: 708.383.0408

[www.oak-park.us](http://www.oak-park.us)

permits@oak-park.us

# COMMERCIAL / MULTI-FAMILY / MIXED-USE CONSTRUCTION SITE REQUIREMENTS

## CONSTRUCTION DOCUMENTS

Shall remain on site during the entire project.

- 1)PERMIT / PERMISSION TO WORK placard(s) must be displayed in a conspicuous place visible from the public street.
- 2)INSPECTION REPORTS shall be emailed to the designated individual only.
- 3)APPROVED "JOB COPY" PLANS stamped and signed shall remain on site the entire time of construction. Plans submitted electronically through the village portal shall be printed by the applicant and be retained on site for contractors and inspectors.

Failure to keep documents on site at all times may result in a failed inspection(s), a "STOP WORK" order being placed on the project, and/or citations being issued with possible fines. Having these documents on site helps all Village employees access scope of work for inspections and during emergency situations.

## JOB SITE MAINTENANCE

- Signage is required to provide the address and contractor name and contact information.
- Before you dig call J.U.L.I.E. @ 811.
- Construction hours are 7:00am through 6:00pm (Municipal Code Article 16).
- Address numbers shall be posted in the front and in the alley of the site (if applicable).
- Trees shall be protected in the parkways; do not block sidewalks or alleyways.
- Portable toilets shall be properly maintained a minimum of 10' from the lot line.
- Construction fencing shall be required (8' around commercial sites).
- Respect the neighboring properties; do not trespass on or damage neighboring properties.
- Keep the site clean, safe, organized, and free from debris.
- Maintain all guardrails, walkways, ladders, and stain in a safe condition.

## COMPLETION & OCCUPANCY

Once the project is completed, all projects require a final inspection. A Certificate of Occupancy is often required for new construction and newly remodeled spaces.

## IN EMERGENCY CALL

Police / Fire @ 911, NICOR @ 888-642-6748, ComEd @ 888-344-7661, J.U.L.I.E. @ 811

## ADOPTED VILLAGE OF OAK PARK CODES

In addition to the amendments posted on-line at [www.oak-park.us](http://www.oak-park.us), Oak Park has adopted the following codes:

- International Building Code - 2018 Edition
- International Mechanical Code – 2018 Edition
- National Electric Code - 2017 Edition
- Illinois State Plumbing Code
- Illinois Accessibility Code
- International Fire Code - 2018 Edition
- International Existing Building Code – 2018 Edition
- International Fuel Gas Code – 2018 Edition

Other Codes to Consider

- State of Illinois mandated Energy Code, International Energy Conservation Code 2018 Edition
- State of Illinois mandated Plumbing Code
- OSHA, FEMA, ADA, Cook County, State of Illinois, United States

Code books may be purchased by contacting the International Code Council, 800.214.4321 or [www.intlcode.org](http://www.intlcode.org). These codes are available for public free access on-line at <https://codes.iccsafe.org/public/collections/I-Codes>

## TO SCHEDULE AN INSPECTION

CALL 708-358-5430 or [www.oak-park.us](http://www.oak-park.us)

- In general, nothing should be concealed unless a passing inspection has been issued.
- Inspections must be called for a minimum of 24 business hours in advance, although it is not guaranteed that an inspection time will be available in 24 hours.
- For increased likelihood in getting an inspection on the day and time you want, call 3 business days before you want the inspection.
- Please have your permit number(s) when phoning in for an inspection.

## REQUIRED INSPECTION CHECKLIST

The Village of Oak Park requires the following inspections to pass prior to construction continuance.

**NOTE:** Additional inspections required by other village departments, such as Fire (708-358-5609), Health (708-358-5489), Engineering (708-358-8706, 07 or 08) or MWRD (708-588-4055) are not included in this list. It is the contractor's and/or owner's responsibility to assure they have obtained all the necessary inspections required by each department in proper sequence as related to the inspections listed below.

Pre-Demolition	A pre-demolition inspection of the primary structure after all required fencing, barricades, etc. are installed.
Footing (Pre-pour)	Inspected after a footing is formed out, including all steel bars, before concrete is placed.
Foundation (Pre-pour)	Inspected after a foundation is formed out, including all reinforcing steel bars, before concrete is placed.
Foundation (Backfill)	Inspected after foundation waterproofing, exterior drain tile, exterior insulation, and anchoring or bracing have been installed before it is covered.
Plumbing (Underground)	PRIVATE PROPERTY: inspect plumbing / sewer pipes before it is covered. Call D.S.C
Storm, Sanitary Sewer and/or Water	Right-of-way. Inspect plumbing / sewer pipes before it is covered. Call Public Works.
Electric (Underground)	Inspected after electrical work below grade is complete before it is covered.
HVAC (Underground)	Inspected after gas lines or ducts are installed below grade before it is covered.
Slab (Pre-pour)	Inspected after forms, sub-grade, reinforcement, interior drain tile, vapor barrier are installed, and other required below grade inspections have passed, before concrete is placed or pavers are installed.
Plumbing (Rough)	Inspected after plumbing work in concealed spaces is completed, before being covered.
Electric (Rough)	Inspected after electric work in concealed spaces including wire pull is completed, before being covered. Splices may be done but is not required. LV and communication cables must also be installed and inspected.
HVAC (Rough)	Inspected after ducts, vents, and/or gas lines are installed in concealed spaces, before being covered.
Framing (Structure)	Inspected after other required rough inspections have passed, after all framing is completed, before walls and ceilings are insulated. NOTE: Fire-stopping and fire blocking shall be installed.
Insulation	Inspected after the framing inspection has passed, after insulation is installed, before being covered.
Drywall	<b>Required ONLY for fire-retarded construction.</b> Inspected after each layer of drywall is installed, before taping or installing additional layers of drywall, wallpaper, ceiling tiles, paint, or similar is installed.
Electric (Service)	Inspected after the electric service is installed. <i>The electrical inspector notifies ComEd after a service is passed.</i>
Plumbing (Service)	Inspected after the plumbing service is installed before being covered. (IDPH)
Plumbing (Final)	Inspected after all plumbing work is complete. (Any service work will be listed as a service inspection).
Electric (Final)	Inspected after all electric work is complete. (Any service work will be listed as a service inspection).
HVAC (Final)	Inspected after all HVAC equipment is installed and operating.
Energy (Final)	Inspects insulation certificates and a blower door test, etc.
Building (Final) <b>REQUIRED</b>	Inspected after all other phases of work, including any other Village Department final inspections are approved, after all work is complete.
Other Inspections (If Applicable)	
Elevator (Final)	Inspected after all equipment regulated by the Elevator Safety & Regulation Act is installed and operating.
Health (Rough & Final)	All food, daycares, and body art establishments.
PW – Forestry	Tree oversight.
PW – Engineering (Rough & Final)	Inspects all drainage systems and major water systems, along with MWRD.
Building (Final)	Inspected after all other phases of work, including any other village department final inspections are approved, after all work is complete.

**NOTE:** Additional special inspections or structural tests may also e required as per Chapter 17 of the International Building Code or the State of Illinois adopted Energy Code. Third party testing agencies may be required to be hired and paid for by the contractor/owner for such testing as, but not necessarily6 limited to, soil or concrete testing, welding, spray-applied fire-resistant materials, HVAC pressure balance and testing and infiltration blower door testing.

## EXTERIOR SITE GRADING

- New principal commercial buildings require detailed engineering drawings for storm water drainage.
- Wood framed structures shall have a minimum of 6" of exposed concrete / masonry 4".
- Grades shall conform to the natural slope of the neighborhood.
- Grades shall not cause a nuisance.
- Grades shall not cause ponding.
- Grades shall not create icing or alga on Village property.
- All sumps or Hub drains for receiving clear water waste shall extend two inches above the floor. All indirect clear water waste lines shall be above the floor level. Any floor drain which is level which is level with the floor shall discharge to a sanitary waste drain.

## ELECTRICAL SERVICE - GENERAL

- ALL ELECTRICAL ITEMS TO BE U.L. LISTED AND LABELED
- The service panel, exterior electrical meter, disconnects shall have a 3'x3' working clearance.
- Overhead wires and service drop in relation to openable windows and clearance. Must be a minimum of 5 feet away.
- Overhead service drop-clearances:
  1. At the service entrance: 10 feet above the ground
  2. Above roofs with a slope of less than 4 in 12: 8 feet
  3. Above roofs with a slope of 4 in 12 or greater: 3 feet
- Over residential property and residential driveways not subject to truck traffic: 12 feet
- Over public streets, alleys, roads, and parking areas subject to truck traffic: 18 feet.
- Service conductor clearance from operable windows, doors, porches, balconies, ladders, stairs, etc.: 3 feet

## MANUFACTURED ITEMS

- Any and all manufactured items must be rated for the use and installed per manufacturer's installation instructions.
- Provide a copy of the manufacturer's installation instructions for the permit file and site inspection.

## EGRESS

- All routes / hallways shall be a minimum of 36" with occupancy of 50 or less. Greater than 50 refer to the IBC.
- All Bedrooms, Basements, Basement Living Spaces, and Basement Bedrooms shall have egress directly to the exterior grade by a door or egress window.

## RADON

- Provide passive radon control system in new 1- and 2-family dwellings.
- Include the diagram from the EPA in the drawings: <https://www.epa.gov/sites/production/files/2014-08/documents/archdraw.pdf>

## ENERGY

- Refer to the certificate from the design professional or follow the prescribed ratings on the following charts:

## COMMERCIAL / MULTIFAMILY

Climate Zone 5	OTHER	Group R
Roof-Insulation entirely above the roof deck-	R30ci	R30ci
Roof-Metal Buildings	R19+R-11 LS	R19+R11 LS
Roof-Attic & Other	R38	R49
Walls-Above Grade-Mass	R11.4ci	R13.3ci
Walls- Above Grade-Metal Buildings	R13+R-13ci	R13+R-13ci
Walls- Above Grade-Metal Frame	R13+R7.5=R20	R13+R7.5=R20
Walls-Wood Frame and Other	R13+R3.8 or R20	R13+7.5ci or R20
Walls-Below Grade	R7.5ci	R7.5ci
Floors-Mass below grade	R10ci	R12.5ci
Floors-Joist/framing	R30	R30
Unheated Slabs	R10 for 24" below	R10 for 24" below
Heated Slabs	R15 for 36" below +R5 full slab	R15 for 36" below +R5 full slab

- U-factor for new windows shall be 0.38 or less for a fixed-unit.
- U-factor for new windows shall be 0.45 or less for an operable unit.
- All HVAC ductwork shall be sealed.
- Building entrances which serve the public and open into spaces with an area of 3000 sf or more shall be protected with an enclosed vestibule, with all doors opening into and out of the vestibule equipped with self-closing devices. Vestibules shall be designed so that in passing through the vestibule it is not necessary for the interior and exterior doors to open at the same time.
- Ductwork shall be insulated in unconditioned spaces.
- Heating water pipes or hot water pipes shall be wrapped.
- Heated exteriors shall be radiant heat.
- Wood-burning fireplaces shall have tight fitting air dampers.
- Provide the proposed detail of the lighting controls.
- Provide occupancy sensors in spaces less than 300sf, where lights shall shut off within 30 minutes after occupants leave the space.
- A MINIMUM of 90% of all lamps in permanently installed light fixtures shall be high efficiency lamps.
- Provide an electric detail pertaining to the required tandem wiring if fluorescent lighting.
- Provide occupant sensor controls with manual override or time switch controls for lighting in classrooms/lecture/training rooms, conference/meeting/multi-purpose rooms, copy/print rooms, lounges, employee lunch and break rooms, private offices, restrooms, storage rooms, janitorial closets, locker rooms, other spaces 300 sf or less that are enclosed by floor-to-ceiling height partitions, and warehouses. Where spaces are provided with time clock controls for lighting, they shall also be provided with light reduction controls that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern by at least 50 percent.

## GAS PIPING

- The gas meter shall be accessible.
- All devices shall have accessible shut offs.
- Provide a copy of the manufacturer's installation instructions for the permit file and site inspection.
- Inspection required.
- In multiple tenant and multiple family buildings shutoff valves shall be provided for each tenant. Each tenant shall have access to the shutoff valve serving that tenant's space.

## GLAZING

- Bathtub glazing shall be safety glazed / tempered glass.
- Glazing at the staircase will be safety glazed.
- Glazing at the door swing will be safety glazed.
- Skylights shall be safety glazed.
- See other requirements in the IBC.

## STAIR REQUIREMENTS FOR COMMERCIAL AND MULTI-FAMILY BUILDINGS

- Minimum stair width: 44" – if occupancy is less than 50 people, minimum width = 36"
- Minimum tread width: 11"
- Maximum riser height: 7"
- Minimum riser height: 4"
- Minimum landing width: same as stair width.
- Maximum height of a flight of stairs between a floor or landing: 12 feet
- Minimum clear headroom above nosing: 6' 8"
- Nosing's are required at each tread.
- Nosing projection from riser if nosing's are provided: 1/2" to 1 1/4"
- Handrails required on both sides of the stairs.
- Intermediate handrails are required so that all portions of the stair are within 30" from a handrail.
- Spacing of handrail from the wall: 1 1/2" (Maximum and Minimum)
- Handrail brackets shall be attached to the bottom of the handrail and shall attach to the wall 1 1/2" below the bottom of the handrail.
- Handrails shall return to the wall.
- Height of handrails: 34" to 38" above nosing
- Handrails extension at bottom floor, top floor or landing: 12"
- Size of handrails
- Circular cross section: 1 1/4" diameter to 2" diameter
- Rectangular cross section: Perimeter of 4" to 6 1/4" with maximum dimension of 2 1/4"
- Guards: required at stairs, ramps, landings and floor openings which are more than 30" higher than surface below.
- Height of guards above stair nosing, floor or landing: 42" minimum
- Spacing of balusters in handrails and guards: sized as to not to allow passage of a 4" sphere between balusters and 6" sphere at the triangular opening formed by the tread, riser and bottom rail of a guard or handrail.

## HVAC

- Heating system: Provide equipment and distribution system capable of maintaining indoor temperature at 68 degrees F at -10 degrees F exterior.
- Provide a mechanical ventilation schedule verifying the area of each room or space, the mechanical code occupant load and the outside air required for each room or space as required by the IMC Table 403.3.
- Provide ACCA Manuals S and J results to determine heating and cooling sizing.
- Per VOP Guidelines, HVAC, A/C & Exhaust shall not cause nuisances and shall be located:
  - Minimum of TEN (10) FEET from lot lines and openable windows.
  - Minimum of THREE (3) FEET from exterior walls and roofs.
- Per VOP Guidelines, Kitchen & Bath exhaust shall not cause nuisances and shall be located:
  - Minimum of THREE (3) FEET from lot lines and openable windows.
  - Minimum of TEN (10) FEET from mechanical intakes.
- For commercial, multi-family and mixed-use buildings, provide a HVAC test and balance report for village approval prior to obtaining a certificate of occupancy.
- Ducts shall be supported with approved hangers at intervals not exceeding 10 feet or by other approved duct support systems designed in accordance with the International Building Code- flexible and other factory-made ducts shall be supported in accordance with the manufacturer's installation instructions.

## PLUMBING

- A Metropolitan Water Reclamation District Permit may be required, refer to the City Engineer.
- WATER SERVICE BACKFLOW PREVENTION: The following buildings will need to install an RPZ (Reduced Pressure Zone backflow preventer) device on the potable water supply:
  - New commercial, or mixed-use commercial and residential buildings.
  - Additions to existing commercial or mixed-use commercial and residential buildings.
  - Existing commercial or mixed-use commercial and residential buildings which undergo Alterations Level 2 or Level 3 in accordance with the International Existing Building Code, where a minimum of 25% of existing plumbing work is to alter.
- EXCEPTION: If there is no existing floor drain within ten feet from the water meter, a testable double check valve is required in lieu of an RPZ.
- Backflow prevention devices will require certification by a certified backflow inspector at the time of installation and annually thereafter.
- An RPZ is required on all equipment directly connected to the water supply.
- The water meter shall be accessible and serviceable.
- All devices shall have accessibility shut offs.
- Provide a copy of the manufacturer's installation instructions for the permit file and site inspection.
- Any project proposing a new plumbing fixture (one or more) shall complete a Village of Oak Park "Water Service Fixture Unit Calculation Worksheet" to assess the need to upgrade the water system. The required form is available on the Village's website and shall be submitted with all required documents.

## ELECTRICAL – BASIC

- Provide complete details on all proposed electrical work including, but not limited to, installation of new circuits, receptacles, piping, wiring and any proposed replacement of old electrical with new. Provide drawings showing existing conditions and proposed new work. Highlight or delineate new work from untouched existing electrical. Plans shall present a clear picture of the work to be completed so code compliance can be assessed.
- A Please provide receptacles above the commercial front windows.
- All receptacles located in a restroom shall be GFCI protected.
- Provide GFCI protection for all receptacles within six feet (6') of the outside edge of any sink.
- Provide a switch, to control lighting, at the entrance/exit to all rooms.
- The branch circuit feeding the emergency lights shall be the same branch circuit as that feeding the normal lighting fixtures in the area.
- All telecom and fire alarm cables to have their own raceway secured to structure Strap all conduits
- Please note that all low voltage cabling shall be secured within a cable tray.
- Provide a minimum of 1 foot-candle of emergency lighting along all areas of the egress corridors.
- An approved exit sign shall mark exits and exit access doors readily visible from any direction of egress travel.

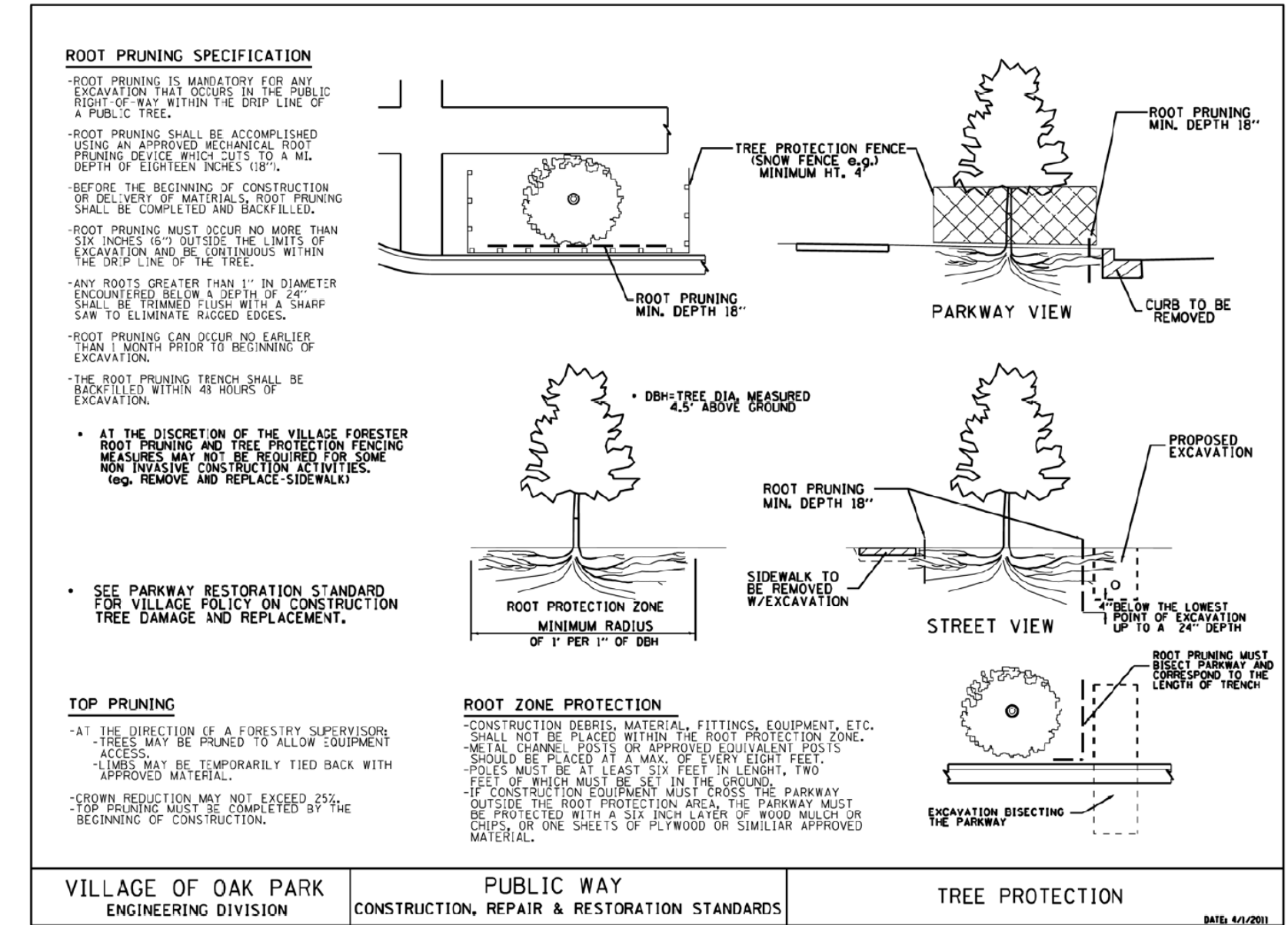
## FIRE BLOCKING / DRAFT STOPPING

- Fire blocking / Draft stopping shall be installed and be a maximum ten feet on center, horizontal and vertical.

## PUBLIC Right-of-Ways

- TREES (Parkway): Shall be protected by a fence a minimum of 10' away from any tree.
- RESTORATION: Public sidewalks shall be restored within 3-7 days (weather permitting) from removal or temporarily backfilled with compacted limestone screenings.

**Note:** This guideline is not all inclusive of the related codes and laws that pertain to this construction refer to the actual code book for details. The permit process is a check and balance system that normally involves a designer, plans examiner, contractor, and inspector to ensure the best quality and safest construction possible. As much as the mentioned professionals attempt to achieve full code compliance every effort has been made to identify all code deficiencies, however, failure to identify a code deficiency during plan review and inspection does not alleviate any obligation to comply with all applicable code provisions.



**VILLAGE OF OAK PARK**

**CONSTRUCTION DOCUMENT(S)**

**REVIEWED FOR COMPLIANCE**

This document has been reviewed for compliance with applicable portions of the codes and ordinances of the Village of Oak Park. This approval is made and hereby given in accordance with the provisions of the Ordinance of the Village of Oak Park. This approval does not constitute a warranty or guarantee of any kind, and the reviewer assumes no liability for any errors or omissions. The reviewer's responsibility is limited to the review of the documents and does not extend to the construction of the project or the performance of the contractor. The reviewer's approval does not constitute an obligation to complete the project, including the design and construction of the project, or to provide any other services.

**KEEP A PRINTED APPROVED COPY OF THE PLANS ON SITE AT ALL TIMES FOR CONTRACTORS AND INSPECTORS**

- Signage is required to provide the address, contractor name and emergency contact information
  - Before you dig call J.U.L.I.E. @ 811.
  - Construction hours are 7:00AM through 6:00PM all seven days a week.
- Address numbers shall be posted in the front and in the alley of the site (if applicable)
  - Trees shall be protected in the parkways; do not block sidewalks or alleyways
- Portable toilets shall be properly maintained a minimum of 10' from the lot line
- Construction fencing shall secure the site and maintain 8' high for res. & 8' high for comm. sites
  - Construction fencing shall secure the site and maintain 8' high for res. & 8' high for comm. sites
  - Respect the neighboring properties; do not trespass on or damage neighboring properties
    - Keep the site clean, safe, organized and free from debris.
    - Maintain all guardrails, walkways, ladders and stairs in a safe condition

Any and all changes and/or deviations to the approved plans shall be proposed in writing, in triplicate, for a complete review and approval.



  
**VILLAGE OF OAK PARK**  
**CONSTRUCTION DOCUMENT(S)**  
**REVIEWED FOR COMPLIANCE**

**KEEP A PRINTED APPROVED COPY OF THE PLANS ON SITE AT ALL TIMES FOR CONTRACTORS AND INSPECTORS**

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- Trees shall be protected in the parkways; do not block sidewalks or alleyways
- Portable toilets shall be properly maintained a minimum of 10' from the lot line
- Construction fencing shall secure the site and materials 6' high for res. & 8' high for comm. sites
- Respect the neighboring properties; do not trespass on or damage neighboring properties
  - Keep the site clean, safe, organized and free from debris.
  - Maintain all guardrails, walkways, ladders and stairs in a safe condition

Any and all changes and/or deviations to the approved plans shall be proposed in writing, in triplicate, for a complete review and re-approval.

**FACTORY**

STRUCTURAL ENGINEER

**GFCG**

Gagarin Farru  
Gibisch Reits

150 North Western Blvd  
Chicago, IL 60607  
Tel: 312.733.4600  
Fax: 312.733.4639

17 CORING #1  
4" DECORATIVE CONC. MASONRY  
SPEC. SECTION 04100.04300.C

18 CORING #2  
PRE-FINISHED GALVANIZED MET  
SPEC. SECTION 07820

19 PARAMET. CONSTRUCTION #  
FACE MASONRY VENEER IN M  
SHEATHING ON G.F. MTL. STUD  
SEE 2/A-4, 2/A-7, 2/A-7  
SPEC. SECTION 04100.0430

20 PARAMET. CONSTRUCTION #  
FACE MASONRY OVER CHU  
STRUCTURAL DRAWING FC  
SEE 2/A-4, 2/A-7, 2/A-7  
SPEC. SECTION 04100.04

21 DEMISING WALL OVER  
CHU IN WORK MASONRY  
COURSE THEREAFTER G  
STRUCTURAL DRAWING FC  
SPEC. SECTION 04100.04

22 DEMISING WALL OVER  
12" LAYERS OF 5/8" P.I.  
INCH SPACE. B-5/8" MT  
RED SPACER  
SPEC. SECTION 04100.04

23 CORRIDOR PART  
12" LAYERS OF 5/8" P.I.  
INSULATION. SEE 5/F  
SPEC. SECTION 051

24 TYPICAL INTER  
5/8" B.P. BD. ON  
INSULATION. SEE 5/F  
SPEC. SECTION 051

25 TYPICAL INTER  
5/8" B.P. BD. ON  
INSULATION. SEE 5/F  
SPEC. SECTION 051

26 TYPICAL INTER  
5/8" B.P. BD. ON  
INSULATION. SEE 5/F  
SPEC. SECTION 051

27 TYPICAL INTER  
5/8" B.P. BD. ON  
INSULATION. SEE 5/F  
SPEC. SECTION 051

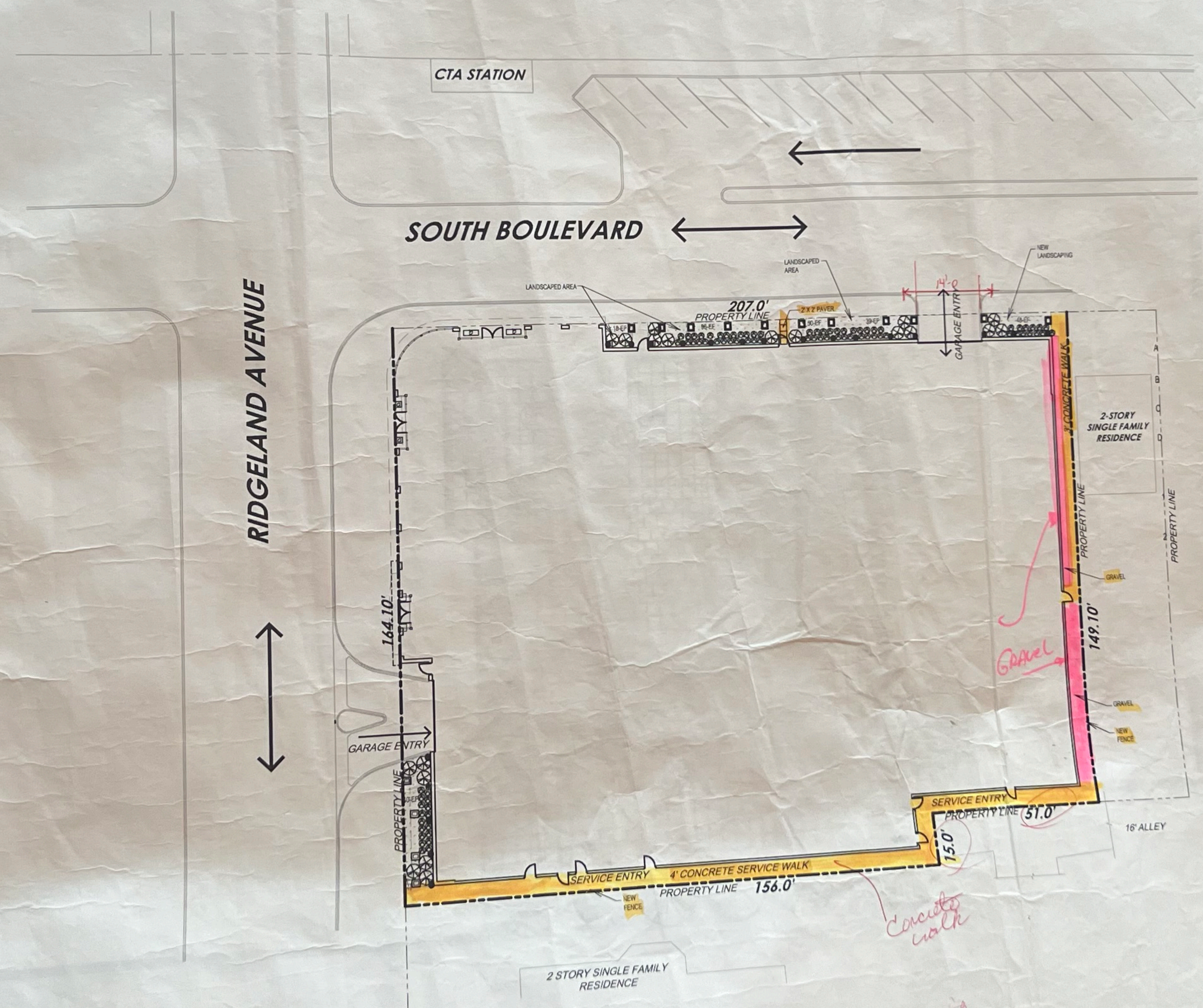
28 TYPICAL INTER  
5/8" B.P. BD. ON  
INSULATION. SEE 5/F  
SPEC. SECTION 051

29 TYPICAL INTER  
5/8" B.P. BD. ON  
INSULATION. SEE 5/F  
SPEC. SECTION 051

30 MASS  
DECORAT  
SPEC. SECT

31 DECOR  
6" ALVANI  
SPEC. SECT

32 DECOR  
4" DECOR  
SPEC. SECT







**WEI TAN**  
 LICENSED ARCHITECT  
 2425 S WENTWORTH AVE  
 CHICAGO, IL 60616

PHONE: (312) 912-5798  
 EMAIL: twarchitect98@yahoo.com

LICENSE NO: 001-022013  
 EXPIRES: 11/30/2024

MEP ENGINEER  
 236 W ALEXANDER STREET  
 CHICAGO IL 60616

PHONE: (312)720-8800  
 BILLY\_WANG68@HOTMAIL.COM  
 LICENSE NO: 062.068227  
 EXPIRES: 11 / 30 / 2023

**COCO NAIL SALON**  
**EXPANSION &**  
**INTERIOR REMODELING**  
 323-327 SOUTH BLVD OAK PARK IL 60302

**GENERAL PROJECT NOTES**

**SUMMARY OF WORK**  
 INTERIOR REMODELING OF EXISTING 2004SF SPACE TO A NEW PEDICURE & NAIL STORE. PROVIDE ALL NECESSARY ARCHITECTURAL, ELECTRICAL AND PLUMBING WORK & HVAC AS NOTED.

**GENERAL INSTRUCTIONS**

THESE DRAWINGS ARE SCOPE DOCUMENTS INDICATING THE GENERAL PROJECT DESIGN CONCEPT, DIMENSIONS OF THE PROJECT, MAJOR ARCHITECTURAL ELEMENTS, AND BASIC ORGANIZATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY DESCRIBE OR INDICATE ALL MATERIALS OR WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR(S) SHALL FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE PROPOSED PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK OR TO SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT. FURTHER MORE THE ARCHITECT MAKES NO WARRANTY EXPRESSED OR IMPLIED ON THESE DOCUMENTS.

DUE TO THE NATURE OF THIS WORK THE ARCHITECT DOES NOT WARRANT THE EXISTING CONDITIONS AS DEPICTED IN THESE DRAWINGS AS BUILT CONDITIONS. THE MEASUREMENTS ON THESE DRAWINGS ARE REASONABLY ACCURATE FOR THE PURPOSE OF "FIGURING." HOWEVER, IN THE EXECUTION OF WORK ON THE JOB, DO NOT SCALE DRAWINGS. EACH CONTRACTOR IS REQUIRED TO VERIFY ALL DIMENSIONS WITH THE ACTUAL CONDITIONS AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT, OWNER, OR THE OWNER'S REPRESENTATIVE.

CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS AND FEES REQUIRED TO PERFORM THE WORK, UNLESS DIRECTED OTHERWISE BY OWNER.

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND SAFETY OF HIS OWN MATERIALS AND WORK, AND FOR PROPERLY REMOVING HIS DEBRIS FROM THE JOB SITE. GENERAL CONTRACTOR (GC) SHALL PROVIDE FOR ALL SITE DEMOLITION AND DEBRIS REMOVAL REQUIRED TO PERFORM NEW CONSTRUCTION WHILE ADEQUATELY MAINTAINING THE PREMISES AND ADJACENT PREMISES TO INSURE NORMAL OCCUPANCY AND SECURITY. THE GC SHALL COORDINATE PROPER TRANSPORTATION AND STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING OF EXISTING FLOOR.

CONTRACTORS INSTALLING PIPES, DUCTS AND CONDUIT WILL BE REQUIRED TO DO ALL CUTTING AND PATCHING IN CONNECTION WITH THEIR WORK, INCLUDING EXCAVATION AND DIGGING. THE OWNER WILL ASSUME NO RESPONSIBILITY FOR THE COST OF CHANGES OR EXTRA WORK MADE NECESSARY BY THE FAILURE OF TRADES TO COORDINATE THEIR WORK DURING CONSTRUCTION.

WHERE APPLICABLE THE GC SHALL CONSTRUCT PHYSICAL BARRIERS AROUND AREAS UNDER CONSTRUCTION AS REQUIRED TO ENSURE GENERAL PUBLIC AND PERSONAL SAFETY.

THE GC SHALL SUPERVISE AND DIRECT THE WORK, HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. THE GC SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER HIS CONTRACT. ALL WORK SHALL BE COMPLETED USING PRACTICES ACCEPTED AND ENDORSED BY THE CORRESPONDING TRADE INDUSTRIES.

THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.

THE CONTRACT AND SUBCONTRACT AMOUNTS SHALL PROVIDE COMPLETE WORKING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS COMMENSURATE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES.

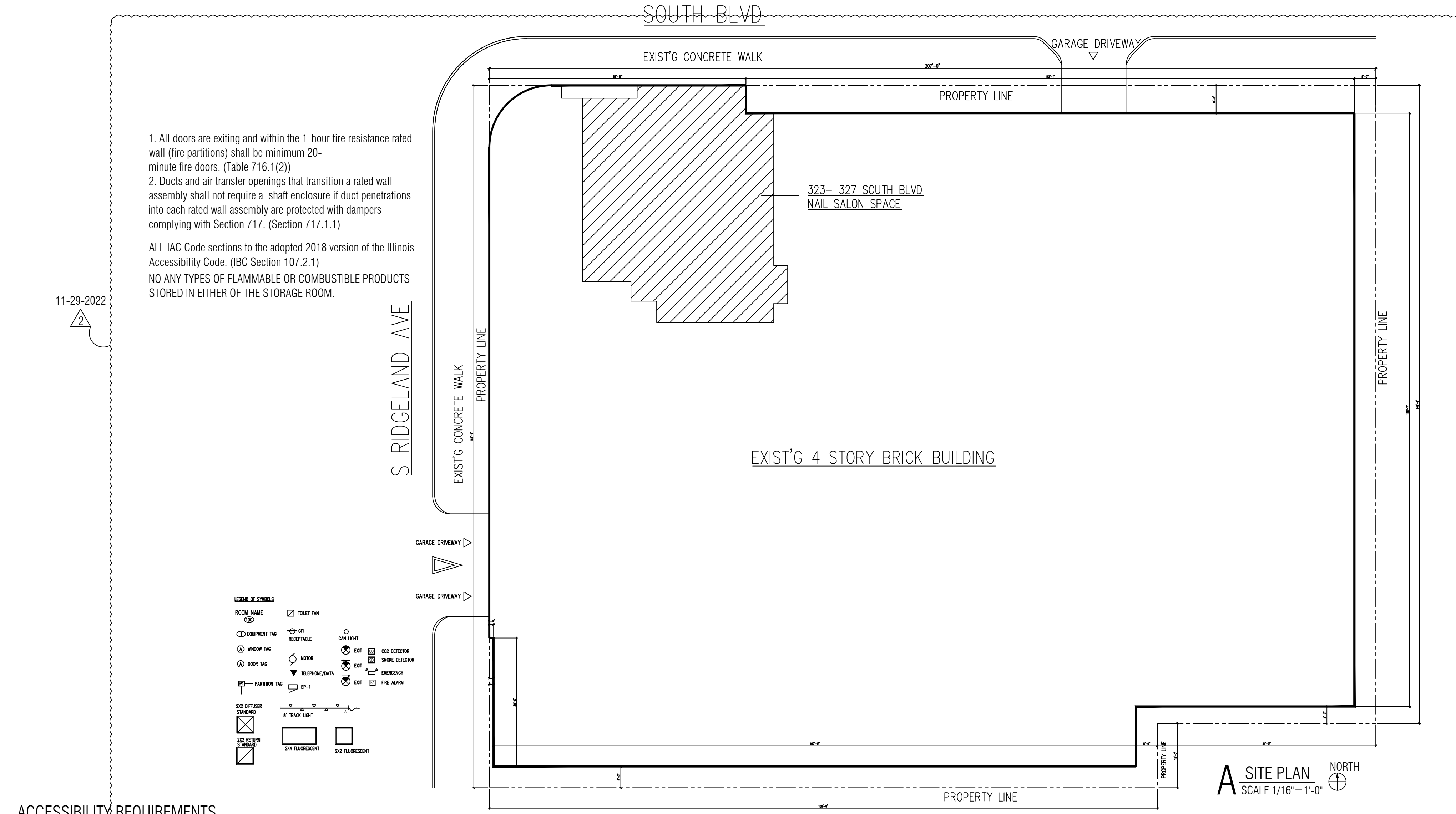
WHEN WALLS ARE TO BE "ALIGNED", THE ALIGNMENT OF SUCH WALLS IS TO THE OUTSIDE FINISHED SURFACE, SUCH AS DRYWALL SURFACE.

ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE. DIMENSIONS AND NOTES FOR A GIVEN CONDITION ARE TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

WHERE NEW WORK ADJOINS EXISTING, ALL SUCH NEW WORK SHALL BE PROPERLY INTERGRATED WITH THE EXISTING TO ENSURE UNIFORM APPEARANCE. ANY REPAIR WORK REQUIRED TO EXISTING WORK SHOULD BE TAKEN CARE OF BY THE CONTRACTOR - PROVIDING ALL NECESSARY CUTTING, FITTING AND PATCHING AND SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS FOR THIS WORK. ALL WORK REQUIRING SPECIAL DETAILING, AND NOT DETAILED ON THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER.

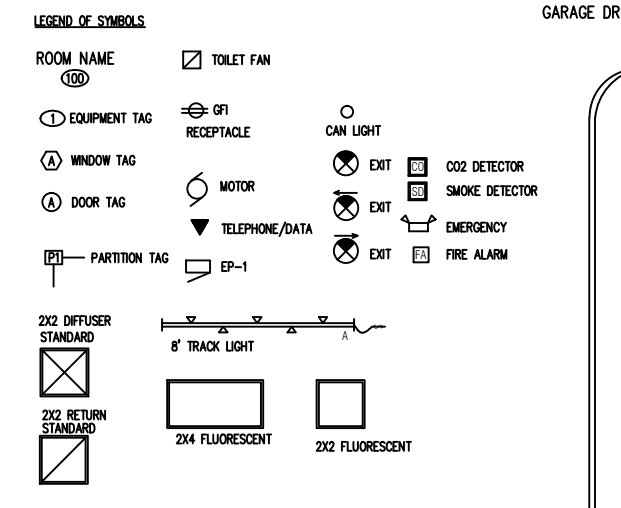
THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES TO AVOID INTERFERENCE, TO PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS.

THE ARCHITECT HAS NO CONTRACTUAL DUTY TO CONTROL MEANS AND METHODS OF THE WORK NOR TO PROVIDE JOB SITE SUPERVISION, ENSURE SAFETY OR CONSTRUCTION MANAGEMENT AND DOES NOT VOLUNTARILY ASSUME ANY SUCH RESPONSIBILITIES.



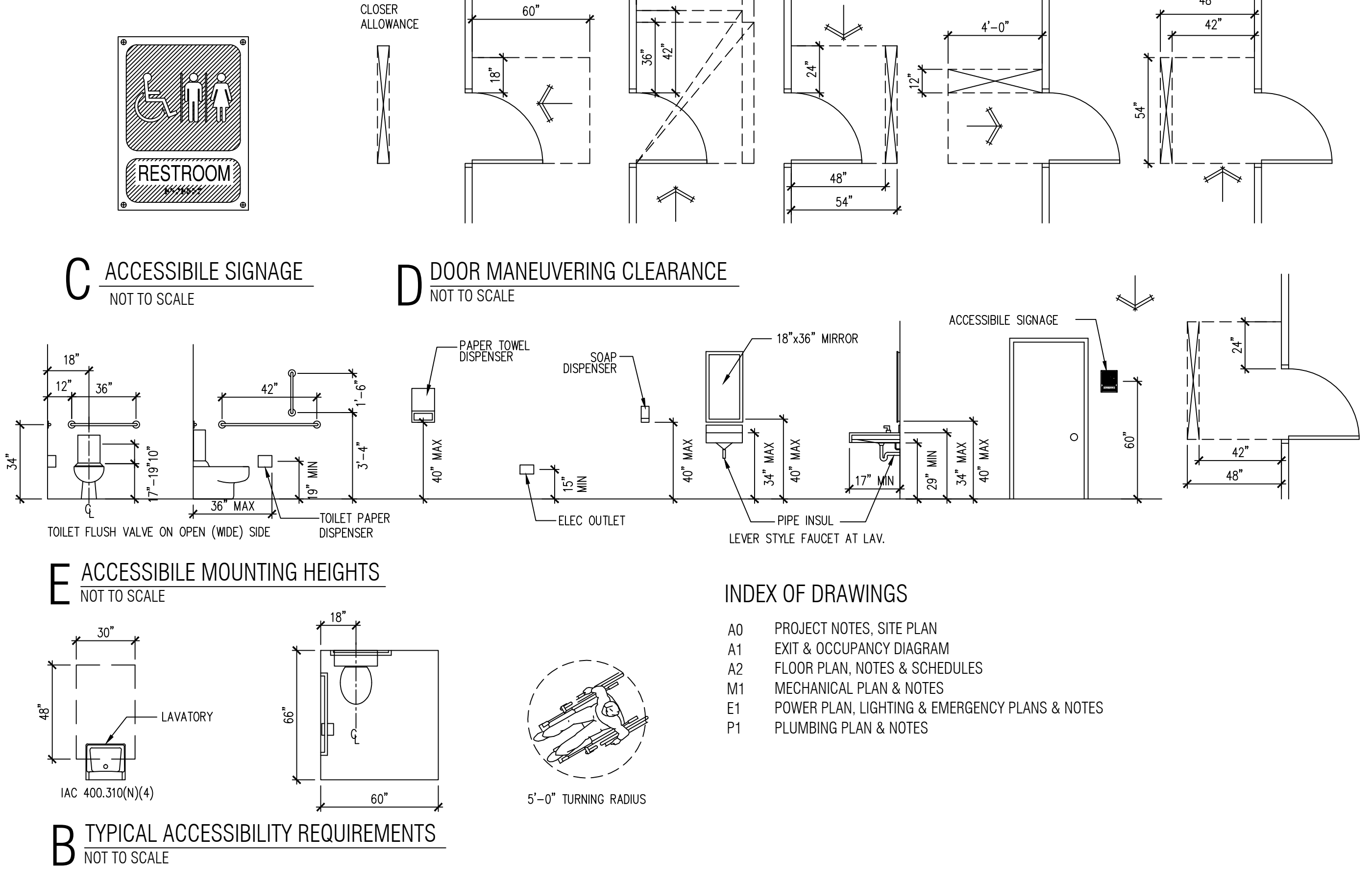
- All doors are exiting and within the 1-hour fire resistance rated wall (fire partitions) shall be minimum 20-minute fire doors. (Table 716.1(2))
- Ducts and air transfer openings that transition a rated wall assembly shall not require a shaft enclosure if duct penetrations into each rated wall assembly are protected with dampers complying with Section 717. (Section 717.1.1)

ALL IAC Code sections to the adopted 2018 version of the Illinois Accessibility Code. (IBC Section 107.2.1)  
 NO ANY TYPES OF FLAMMABLE OR COMBUSTIBLE PRODUCTS STORED IN EITHER OF THE STORAGE ROOM.



**ACCESSIBILITY REQUIREMENTS**

TOILET ROOMS REQUIRED TO BE ACCESSIBLE SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT WHICH INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:



**CODE DATA**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL LAWS, ORDINANCES, STANDARDS AND REGULATORY AGENCIES INCLUDING BUT NOT LIMITED TO THE REQUIREMENTS (INCLUDING LOCAL AMENDMENTS) OF
- 2018 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
  - 2018 INTERNATIONAL EXISTING BUILDING CODE WITH AMENDMENTS
  - 2018 INTERNATIONAL MECHANICAL CODE
  - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
  - 2017 NATIONAL ELECTRIC CODE WITH AMENDMENTS
  - 2014 STATE OF ILLINOIS PLUMBING CODE
  - 2018 INTERNATIONAL FUEL GAS CODE
  - 2018 INTERNATIONAL FIRE CODE
  - 2018 ILLINOIS ACCESSIBILITY CODE

**PROJECT DATA**

	CODE REQUIRED	ACTUAL
OCCUPANCY CLASSIFICATION		BUSINESS GROUP B
TYPE OF CONSTRUCTION		I-B
NUMBER OF STORIES		4 EXISTING
TOTAL FLOOR AREA		2004SF
FIXED SEATING		52
AREAS WITHOUT FIXED SEATING		1064SF/150SF PER OCCUPANT = 7
TOTAL OCCUPANT LOADS		59
SPRINKLER SYSTEM		YES EXIST'G
REQUIRED NUMBER OF EXITS	2	ACTUAL 3

**INDEX OF DRAWINGS**

- A0 PROJECT NOTES, SITE PLAN
- A1 EXIT & OCCUPANCY DIAGRAM
- A2 FLOOR PLAN, NOTES & SCHEDULES
- M1 MECHANICAL PLAN & NOTES
- E1 POWER PLAN, LIGHTING & EMERGENCY PLANS & NOTES
- P1 PLUMBING PLAN & NOTES

*Wei Tan*

I HEREBY CERTIFY THAT THESE DRAWINGS ARE PREPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM WITH APPLICABLE CODES AS LISTED ON SHEET A0.  
 LIC EXPIRES NOV 30, 2024

ISSUES	DATE
ISSUED FOR PERMIT	08/28/2022
REISSUED FOR PERMIT	10/25/2022
REISSUED FOR PERMIT	11/29/2022
REISSUED FOR PERMIT	03/30/2022



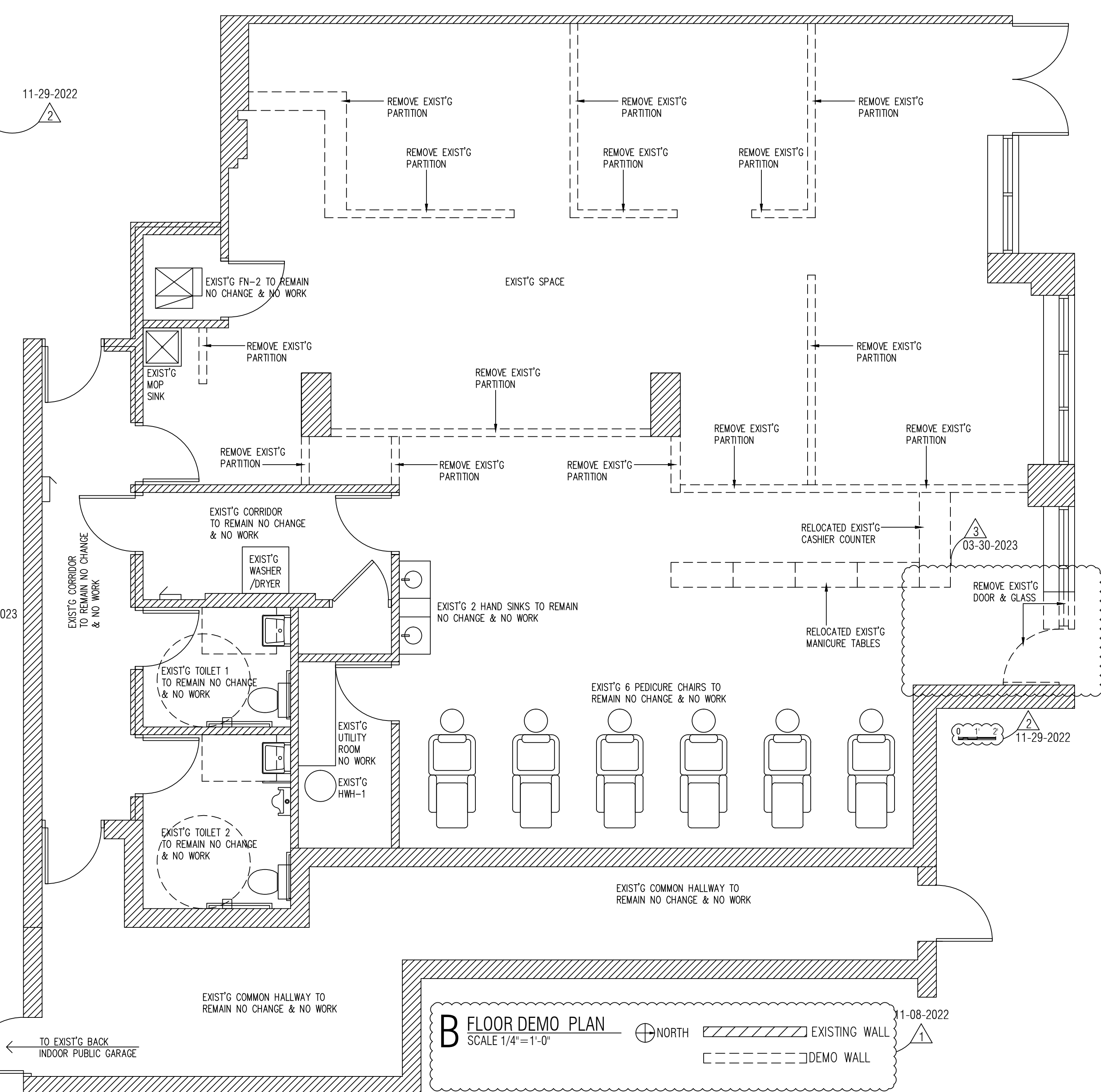
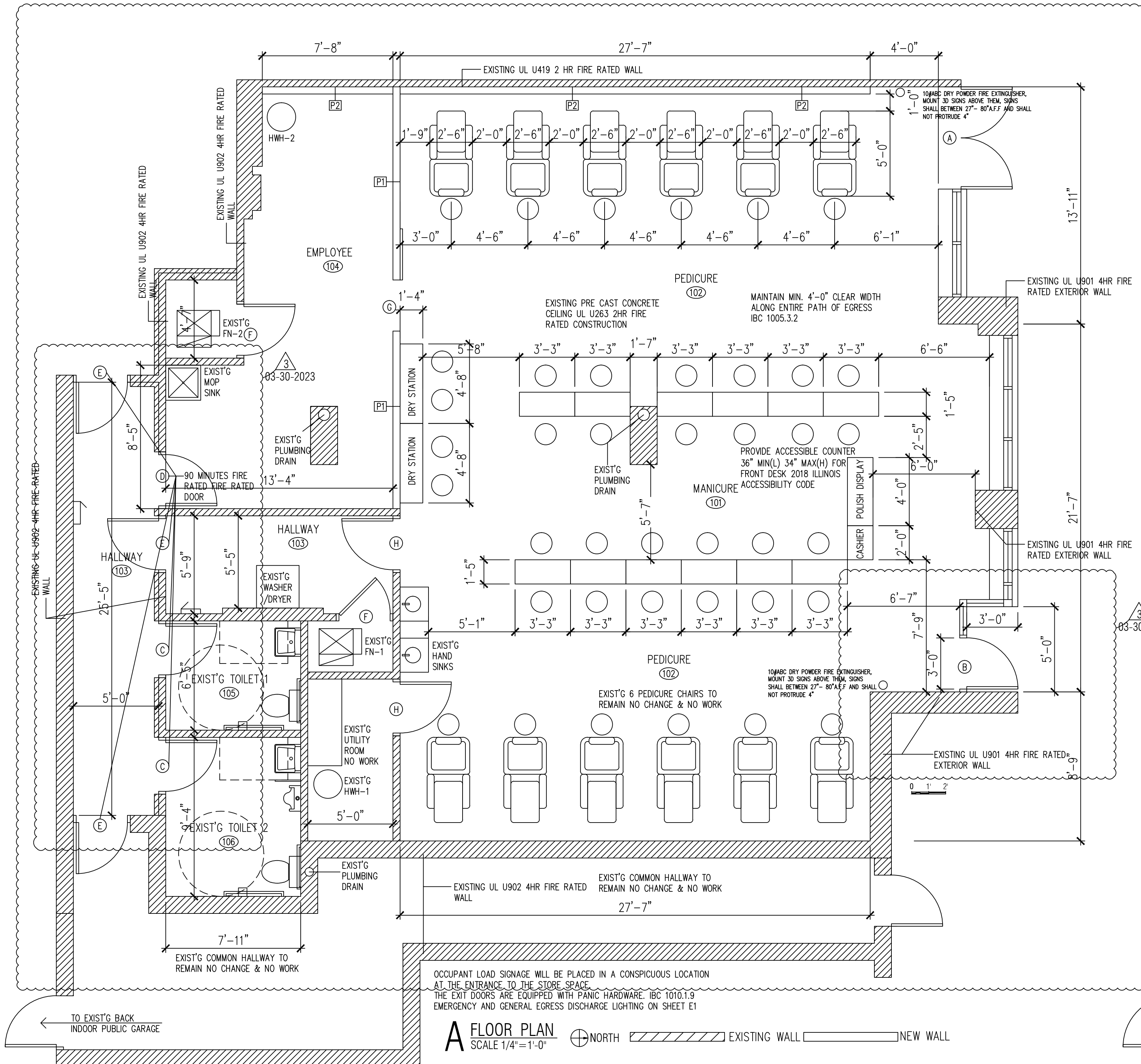
**PROJECT NOTES & SITE PLAN**

SHEET NUMBER  
**A0**









**DOOR SCHEDULE**

TAG	DESCRIPTION	FRAME CONSTRUCTION	NOMINAL SIZE W X H	DOOR FINISH	FRAME FINISH	LABEL	HARDWARE	COMMENTS
A	STORE FRONT GLASS DOOR	ALUMINUM	6'-0" x 7'-0"	TEMPERED GLASS	ALUMINUM	-	3	EXIST'G
B	TEMPERED GLASS DOOR	ALUMINUM	3'-0" x 7'-0"	TEMPERED GLASS	ALUMINUM	-	3	NEW
C	HOLLOW METAL DOOR	PRE-HUNG METAL	3'-0" x 6'-8"	PAINT	PAINT	-	2	90 MINUTES FIRE RATED DOOR
D	HOLLOW METAL DOOR	PRE-HUNG METAL	3'-0" x 6'-8"	PAINT	PAINT	-	1	90 MINUTES FIRE RATED DOOR
E	HOLLOW METAL DOOR	PRE-HUNG METAL	3'-0" x 6'-8"	PAINT	PAINT	-	3	90 MINUTES FIRE RATED DOOR
F	HOLLOW METAL DOOR	PRE-HUNG METAL	3'-0" x 6'-8"	PAINT	PAINT	-	-	EXIST'G
G	SLIDE WOOD DOOR	PRE-HUNG METAL	3'-0" x 6'-8"	PAINT	PAINT	-	1	NEW
H	WOOD DOOR	PRE-HUNG METAL	3'-0" x 6'-8"	PAINT	PAINT	-	1	EXIST'G

ALL EXIT DOORS MUST OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE WHICH EGRESS IS MADE  
LEVERED HANDLE HARDWARE AS REQUIRED BY ILLINOIS ACCESSIBILITY CODE  
PROVIDE DOOR CLOSERS ALONG ALL ACCESSIBLE ROUTES

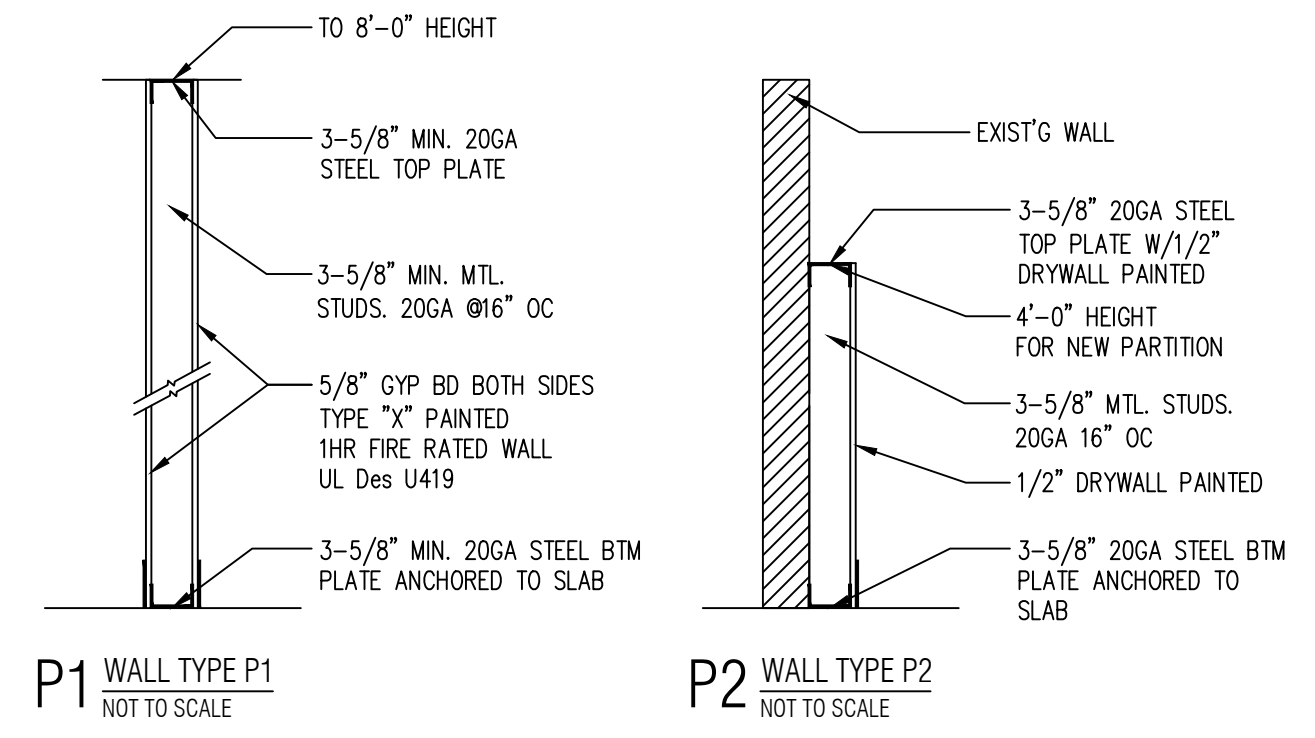
**ROOM FINISH SCHEDULE**

NO	ROOM	WALLS	BASE	FLOOR	FLOOR	CEILING
101	MANICURE	GYP PAINTED	FLOOR TILE	FLOOR TILE	FLOOR TILE	EXIST'G OPEN CEILING
102	PEDICURE	GYP PAINTED	FLOOR TILE	FLOOR TILE	FLOOR TILE	EXIST'G OPEN CEILING
103	HALLWAY	GYP PAINTED	FLOOR TILE	FLOOR TILE	FLOOR TILE	EXIST'G OPEN CEILING
104	EMPLOYEE	GYP PAINTED	FLOOR TILE	FLOOR TILE	FLOOR TILE	EXIST'G OPEN CEILING
105	EXIST'G TOILET 1	CERIMIC TILE	CERIMIC TILE	FLOOR TILE	FLOOR TILE	EXIST'G 2X2 LAY-IN CEILING
106	EXIST'G TOILET 2	CERIMIC TILE	CERIMIC TILE	FLOOR TILE	FLOOR TILE	EXIST'G 2X2 LAY-IN CEILING

CORRIDORS CLASS B (26-75)  
OTHER SPACES : CLASS C (76-200)

**HARDWARE SCHEDULE**

TAG	DESCRIPTION
1	1 1/2 PAIR BUTT HINGES, W/ PRIVACY LOCKSET
2	1 1/2 PAIR BUTT HINGES, SELF CLOSING DEVICE, ACCESSIBLE HARDWARE
3	1 1/2 PAIR BUTT HINGES, PADDLE LATCH EXIT DEVICE AND DOOR CLOSER, PANIC HARDWARE



CONTRACTOR SHOULD FOLLOW:  
2018 INTERNATIONAL BUILDING CODE  
2018 ILLINOIS ACCESSIBILITY CODE

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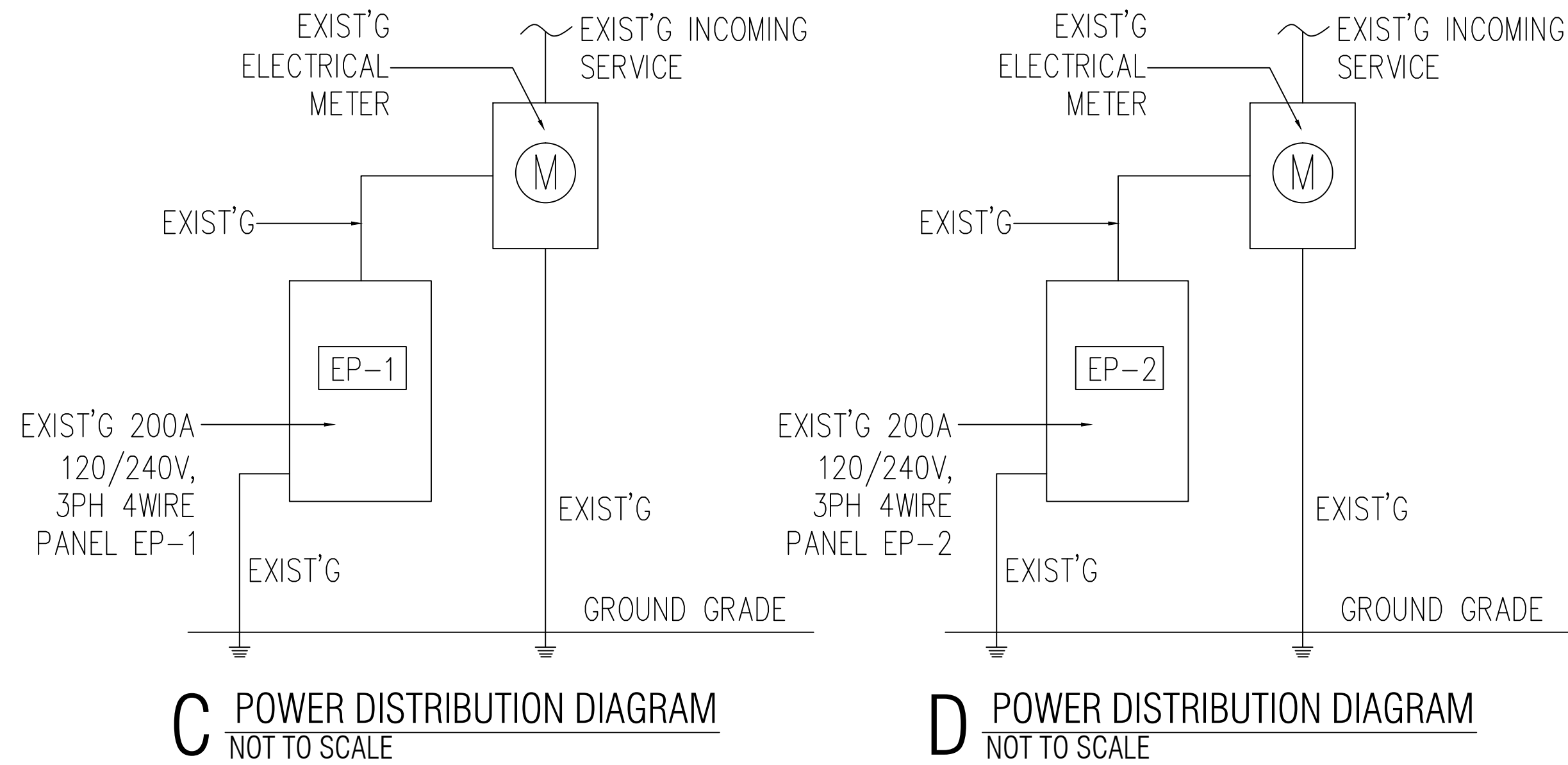
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FLOOR PLAN,  
NOTES &  
SCHEDULES

SHEET NUMBER  
**A2**





EXIST'G ELECTRICAL PANEL EP-2: 200A/208V/3PH/4W												
SERVES	C	B	A	AMPS	CK	CK	AMPS	A	B	C	SERVES	
LIGHTING	---	---	1000	20	1	2						
AC-2	---	3600	---	60	3	4						
AHU-2	---	---	1080	20	7	8	20	1800	---	---	1800 DRY STATION	
WASHER	---	1800	---	20	9	10	20	---	1800	---	1800 DRY STATION	
HOT WATER HEATER	---	---	2000	50	11	12	20	---	---	---	720 EMPLOYEE OUTLET	
	---	2000	---	---	13	14	20	720	---	---	720 EMPLOYEE OUTLET	
	---	---	---	---	15	16	30	---	---	1800	---	
SPA CHAIRS 1	1080	---	---	20	17	18	20	---	---	---	1800 EF-1	
SPA CHAIRS 2	---	---	1080	20	19	20	20	---	---	---	---	
SPA CHAIRS 3	---	1000	---	20	21	22	20	---	---	---	---	
SPA CHAIRS 4	1080	---	---	20	23	24	20	---	---	---	---	
SPA CHAIRS 5	---	---	1080	20	25	26	20	---	---	---	---	
SPA CHAIRS 6	---	1000	---	20	27	28	20	---	---	---	---	
NAIL OUTLET 1	1080	---	---	20	29	30	20	---	---	---	---	
NAIL OUTLET 2	---	---	1080	20	31	32	20	---	---	---	---	
NAIL OUTLET 3	---	1000	---	20	33	34	20	---	---	---	---	
NAIL OUTLET 4	1080	---	---	20	35	36	20	---	---	---	---	
NAIL OUTLET 5	---	---	1080	20	37	38	20	---	---	---	---	
NAIL OUTLET 6	---	1000	---	20	39	40	20	---	---	---	---	
	---	---	---	---	41	42	20	---	---	---	---	
SUBTOTAL	9920	11400	8400					2520	3600	4320		
TOTAL PANEL LOAD	40160	VA	111	AMPS/ 3 PHASE								

**ELECTRICAL NOTES**

AT LEAST FIFTY (50) FOOT CANDLES OF LIGHT SHALL BE PROVIDED ON ALL WORKING SURFACES. TWENTY (20) FOOT CANDLES OF LIGHT, AT A DISTANCE OF THIRTY (30) INCHES FROM THE FLOOR, SHALL BE PROVIDED IN ALL OTHER AREAS.

ALL DROP/PLENUM CEILING WIRING TO COMPLY WITH NEC 300.22C. ALL LOW VOLTAGE WIRING TO BE SELF SUPPORTING. NOT RUN OVER ANY LIGHT BALLAST, AND RUN 90 DEGREE.

ALL FIRE ALARM, SMOKE DETECTOR, NIGHT LIGHT, AND EXIT SIGN CIRCUITS SHALL BE SECURED WITH A LOCKOUT DEVICE TO PREVENT ACCIDENTAL DEACTIVATION. INTERLOCK MOTORIZED DAMPERS MUST BE INSPECTED AT ROUGH AND FINAL STAGES BY BOTH THE ELECTRICAL AND MECHANICAL INSPECTORS.

INTERLOCK MOTORIZED DAMPERS MUST BE INSPECTED AT ROUGH AND FINAL STAGES BY BOTH THE ELECTRICAL AND MECHANICAL INSPECTORS. ALL LOW VOLTAGE WIRING FOR MECHANICAL HVAC (DDC) CONTROLS AND ANY ALL OTHER USES MUST BE RUN AT RIGHT 90 DEGREE ANGLES AND PROPERLY SUPPORTED. NO LOW VOLTAGE WIRING MAY CROSS OVER CEILING LIGHT FIXTURES.

EXHAUST FAN CONTROL SWITCHES MUST HAVE A PILOT LIGHT INDICATING FAN MOTOR IS POWERED. TIMERS ARE NOT APPROVED FOR EXHAUST FAN OPERATIONS OR THE OPERATIONS OF ANY MECHANICAL EQUIPMENT.

ALL RECEPTACLES SHALL BE RATED AT NO LESS THAN 20 AMPS WITH #12 COPPER WIRE

STORAGE BATTERIES FOR POWERING EMERGENCY SYSTEM SHALL BE OF SUITABLE RATING AND CAPACITY TO SUPPLY AND MAINTAIN THE TOTAL EMERGENCY LOAD FOR A PERIOD OF 1.5 HOURS MINIMUM WITHOUT THE VOLTAGE APPLIED TO THE LOAD FALLING BELOW 87.5% OF NORMAL

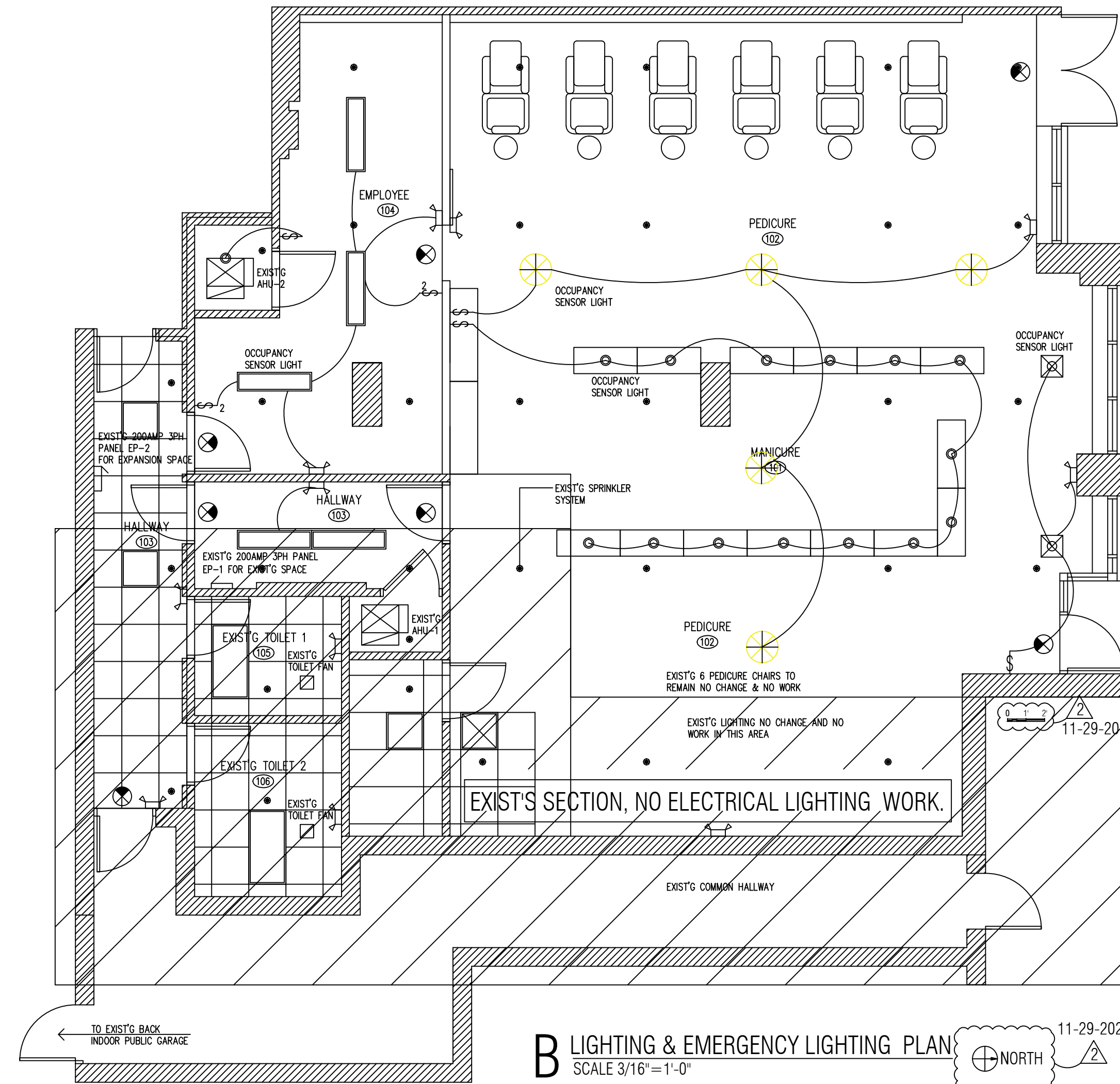
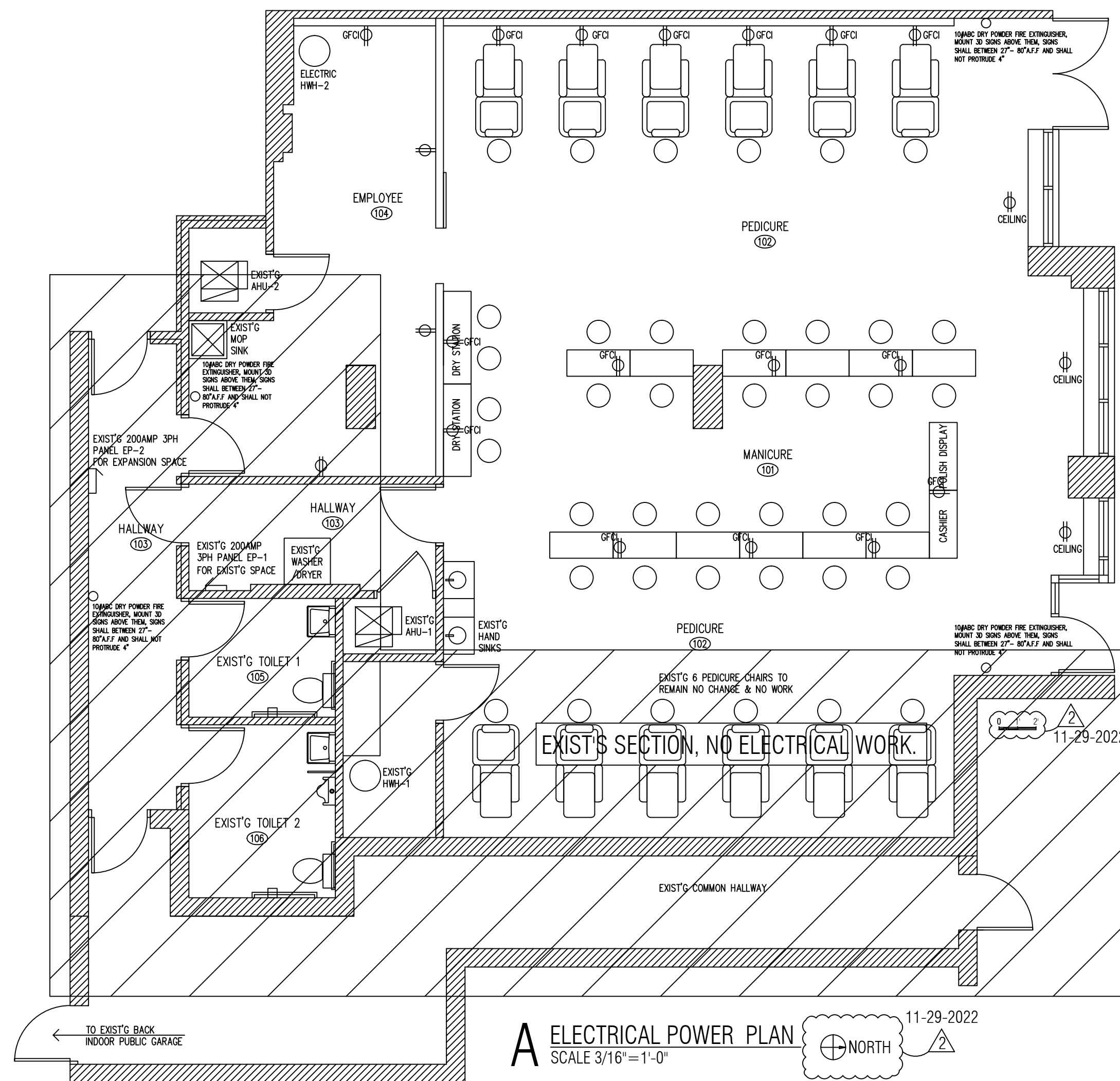
ALL OUTLETS ABOVE COUNTERTOPS SHALL BE INSTALLED WITH LONG DIMENSION OF THE PLATES HORIZONTAL. PROVIDE KELLUM GRIP (WIRE MESH SPRING RELIEF) AT ALL CEILING RECEPTACLE DROPS  
MAINTAIN 36" CLEAR FLOOR SPACE IN FRONT OF PANELS.

FINAL LOCATIONS OF TELEPHONE AND DATA OUTLETS TO BE CONFIRMED BY OWNER.  
ELECTRICAL 125V CONVENIENCE OUTLETS SHALL BE LOCATED ON THE SAME LEVEL WITHIN 25' OF ROOF MOUNTED EQUIPMENT.

- LEGEND:**
- LIGHT FIXTURE
  - RECESSED 2'X4' LIGHT FIXTURE
  - ▬ RECESSED 2'X4' NIGHT LIGHT FIXTURE
  - ⚡ EMERGENCY LIGHTING
  - ⊗ EXIT SIGN
  - ⊠ CO/SD DETECTOR

ELECTRICAL CONTRACTOR K-H INC  
ECC66360 (312)-804-1668 WILL RESPONSIBLE FOR THE FOLLOWING:

The lighting control systems have been tested to ensure that control hardware and software are calibrated, adjusted, programmed and in proper working condition in accordance with the construction documents and manufacturer's instructions. Functional testing shall be in accordance with Sections C408.3.1.1 and C408.3.1.2 for the applicable control type.



CONTRACTOR SHOULD FOLLOW:  
2017 NATIONAL ELECTRIC CODE

TYPE	MANUFACTURER	MODEL	LAMP	DESCRIPTION
☐	SURE LITES	XR-9-C	(2)HALOGEN 12W	APPROVED BATTERY EM FIXTURE
⊗	ALPHA	SM-C SERIES	(2)7W FLUORESCENT SINGLE FACE	APPROVED SINGLE FACE EXIT SIGN BATTERY BACKUP 120V FIXTURE

- FIRE PREVENTION BUREAU EXIT SIGN SYMBOLS**
- ⊕ NEW FEATURE
  - ⊖ CHANGE EXIST TO NEW
  - ⊗ SINGLE FACE EXIT SIGN
  - ⊠ SINGLE FACE EXIT SIGN W/ DIRECTIONAL ARROW
  - ⊡ EXISTING FEATURE
  - ⊢ NEW SIDE OF FEATURE W/ DIRECTIONAL ARROW
  - ⊣ SINGLE FACE EXIT SIGN W/ DIRECTIONAL ARROW
  - ⊤ SINGLE FACE EXIT SIGN W/ DIRECTIONAL ARROW

1. That the branch circuit feeding emergency lighting shall be the same branch circuit as that serving the normal lighting in the area and connected ahead of any local switches.
2. That wherever circuit conductors are spliced in a junction box, any associated Equipment Grounding Conductors (EGC) shall be bonded ("pigtailed") to the box.
3. Provide emergency lighting on the exterior side of the exit discharge doors. The design must be so that a burnt out lamp / LED driver will not leave the space in total darkness. A two (2) lamp / LED driver fixture or multiple fixtures in 8' proximity to each other will accomplish this.

- 1: provide GFCI protection for all receptacles within six feet (6') of the outside edge of any sink. (Article 210.8(A)(7))
- 2: provide receptacles above the commercial front windows in accordance with Article 210.62.
- 3: Continuity of the grounding path or the bonding connections to interior piping shall not rely on water meters or filtering devices and similar equipment. (Article 250.53(D)(1)) A continuous bonding wire shall be attached at the gas line to the cold and hot water supply at the water meter.
- 4: Auxiliary gutters utilizing more than 30 current carrying conductors shall be derated according to the adjustment factors in Article 310.15(B)(3)(a). (Article 366.23)

- 5: Occupancy sensors shall be installed in all classrooms, conference/meeting rooms, copy/print rooms, employee lunch and break rooms, private offices, restrooms, storage rooms, and janitorial closets, and other spaces 300 square feet or less enclosed by floor-to-ceiling height partitions. (Section C405.2.1)
- 6: Prior to passing a final inspection, the registered design professional shall provide evidence that the lighting control systems have been tested to ensure that control hardware and software are calibrated, adjusted, programmed and in proper working condition in accordance with the construction documents and manufacturer's instructions. Functional testing shall be in accordance with Sections C408.3.1.1 and C408.3.1.2 for the applicable control type. Please indicate, on the plans, the responsible individual who will provide this verification. (Section C408.3.1)



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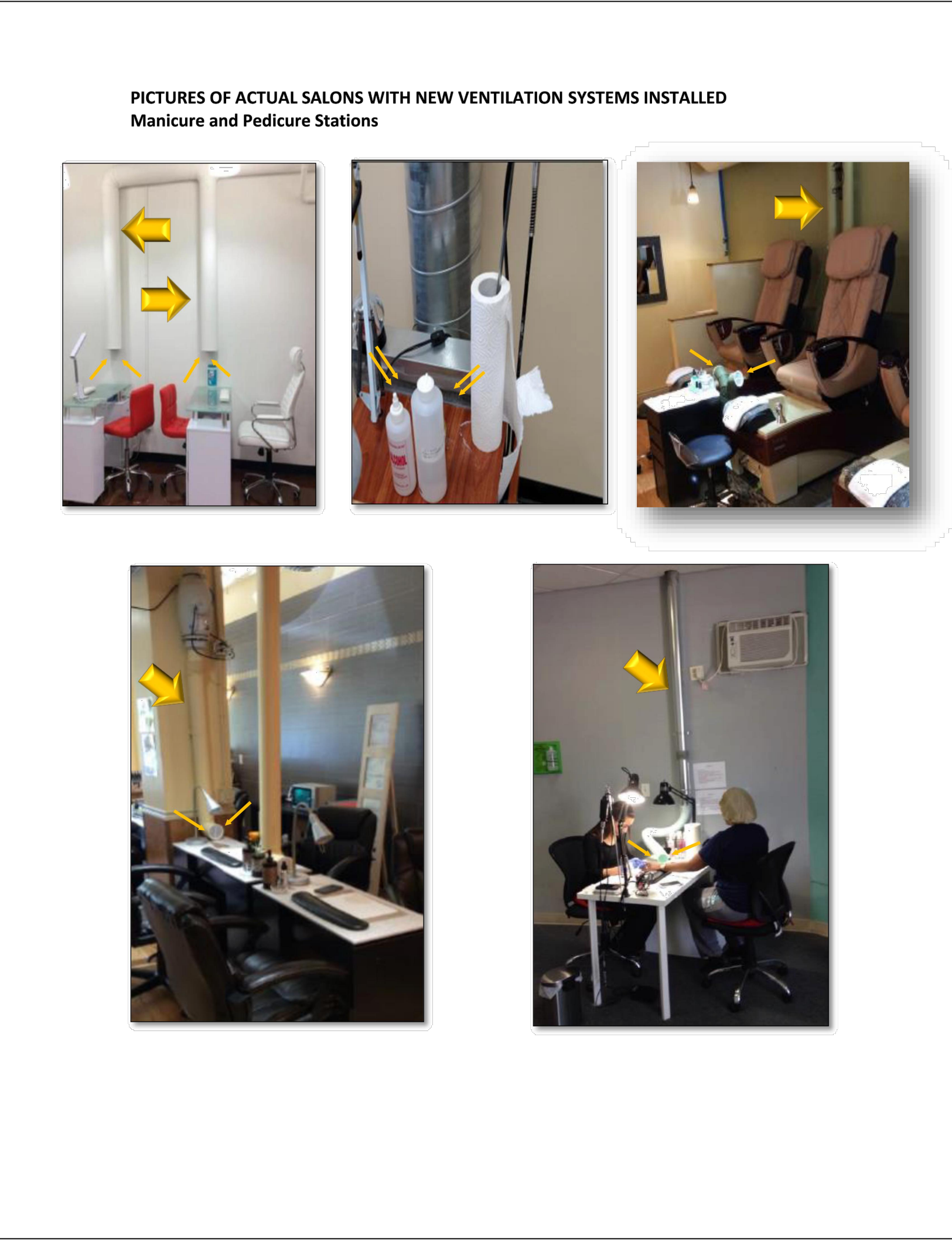
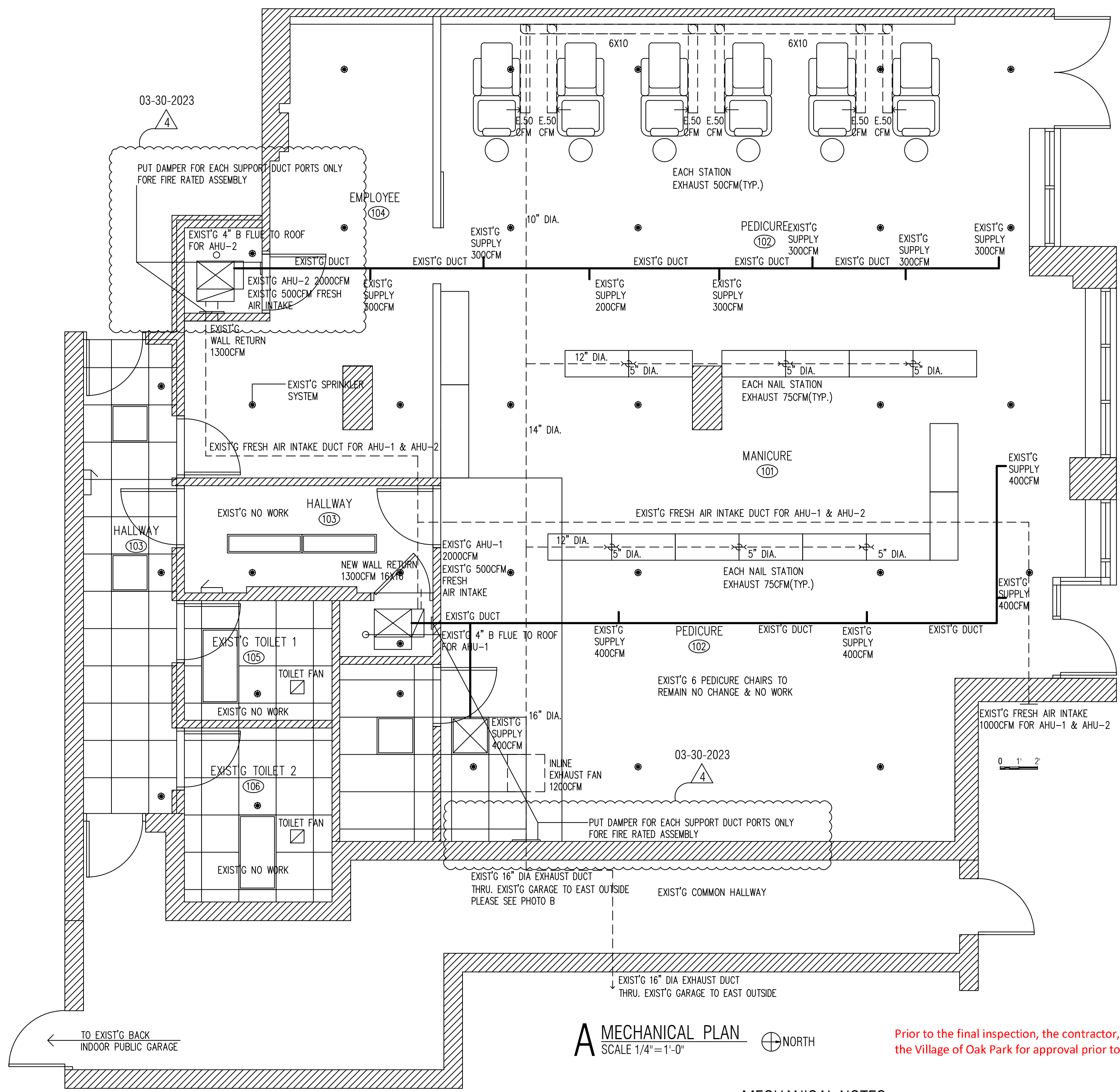


**ELECTRICAL PLANS & NOTES**

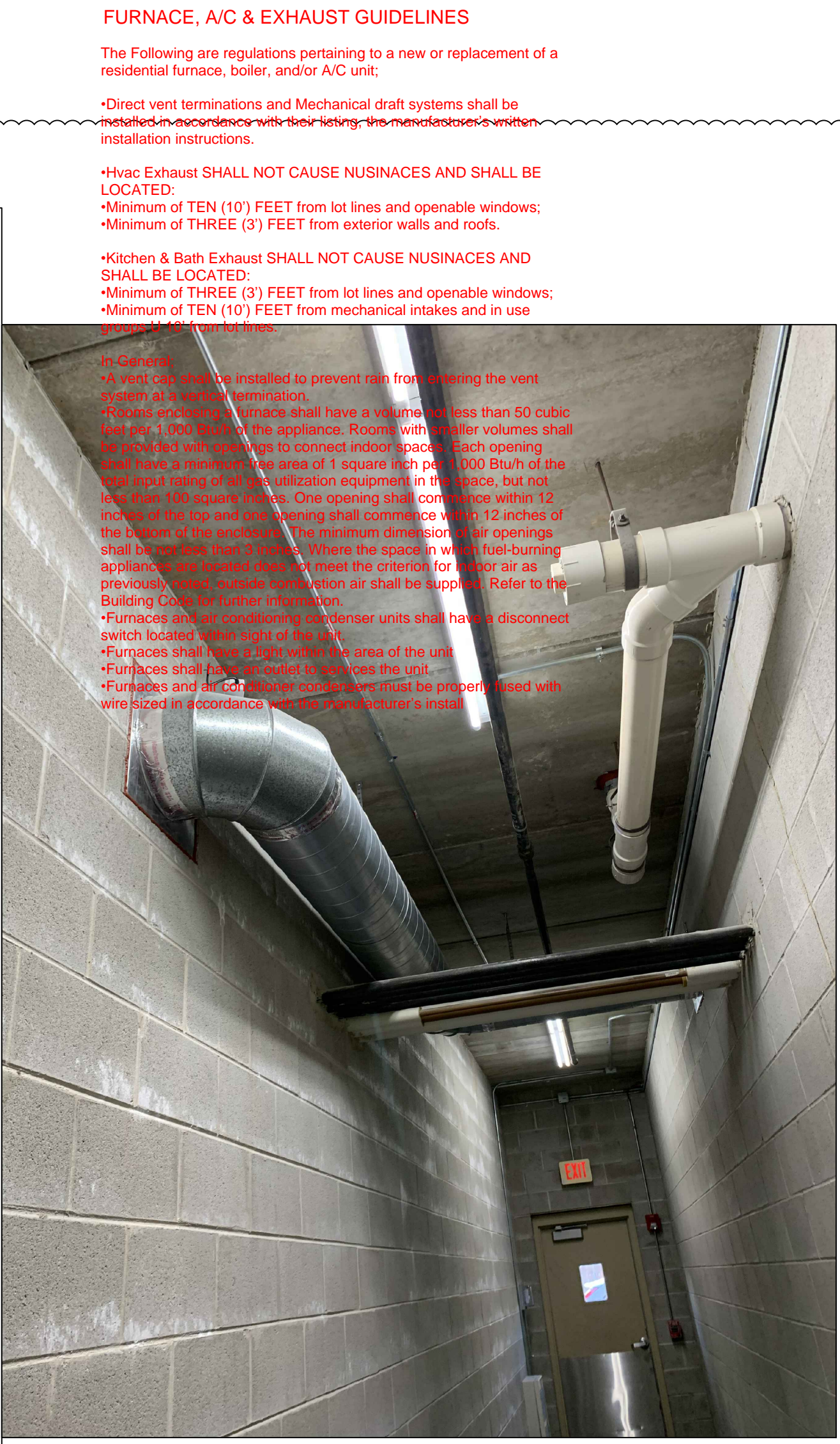
SHEET NUMBER

**E1**





CONTRACTOR SHOULD FOLLOW:  
2018 INTERNATIONAL MECHANICAL CODE



EXIST'G 16" DIA. EXHAUST DUCT THRU EXIST'G GARAGE TO EAST OUTSIDE

**FURNACE, A/C & EXHAUST GUIDELINES**

The Following are regulations pertaining to a new or replacement of a residential furnace, boiler, and/or A/C unit:

- Direct vent terminations and Mechanical draft systems shall be installed in accordance with their listing, the manufacturer's written installation instructions.
- Hvac Exhaust SHALL NOT CAUSE NUISANCES AND SHALL BE LOCATED:
  - Minimum of TEN (10') FEET from lot lines and openable windows;
  - Minimum of THREE (3) FEET from exterior walls and roofs.
- Kitchen & Bath Exhaust SHALL NOT CAUSE NUISANCES AND SHALL BE LOCATED:
  - Minimum of THREE (3) FEET from lot lines and openable windows;
  - Minimum of TEN (10') FEET from mechanical intakes and in use of range hood from ceiling.

- In General:
  - A vent cap shall be installed to prevent rain from entering the vent system at a vertical termination.
  - Furnace and boiler vent pipes shall have a volume not less than 50 cubic feet per 1,000 BTU of the appliance. Rooms with smaller volumes shall be protected with openings to connect indoor spaces. Each opening shall have a minimum net area of 1 square inch per 1,000 BTU of the vent hood rating of the utilization equipment in the space, but not less than 100 square inches. One opening shall commence within 12 inches of the top and one opening shall commence within 12 inches of the bottom of the opening. The minimum dimension of air openings shall be not less than 3 inches. Where the space in which fuel-burning appliances are located does not meet the criteria for outdoor air as previously stated, outside fresh air shall be supplied. Refer to the Building Code for further information.
  - Furnaces and air conditioning condenser units shall have a disconnect switch located within sight of the unit.
  - Furnaces shall have a 2" gap within the area of the unit.
  - Furnaces shall have a 2" gap within the area of the unit.
  - Furnaces and air conditioning condensers must be properly sized with wire sized in accordance with the manufacturer's install.

Prior to the final inspection, the contractor, designer, owner, or operator shall submit an air balance report to the Village of Oak Park for approval prior to receiving a certificate of occupancy. (Sections 106.3.1 and 403.7)

**MECHANICAL NOTES:**

ALL DIFFUSERS, REGISTERS, RETURNS, AND TOILET EXHAUST FANS TO BE COMMERCIAL GRADE.

NEW DUCTWORK SHOULD BE REQUIRED ALL SHEET METAL SHALL BE IN COMPLIANCE TO SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) STANDARDS. DUCT WORK SHALL BE INSULATED WITH AIR TIGHT JOINTS PROPERLY SUPPORTED TO AVOID STRAIN, VIBRATION AND NOISE. ALL FRESH AIR INTAKE OPENINGS SHALL BE A MIN. OF 10'-0" AWAY FROM ANY EXHAUST OR POINT OF CONTAMINATED DISCHARGE.

SMOKE DETECTORS SHALL BE INSTALLED IN RETURN AIR SYSTEM WITH A DESIGN CAPACITY GREATER THAN 2,000 CFM IN THE RETURN AIR DUCT OR PLENUM UPSTREAM OF ANY FILTERS, EXHAUST CONNECTIONS, OUTDOOR AIR CONNECTIONS, OR DECONTAMINATION EQUIPMENT AND APPLIANCES.

SMOKE DETECTOR'S PROVIDED IN RETURN AIR SYSTEM SHALL BE CONNECTED TO THE AIR HANDLING SYSTEM IN SUCH A WAY THAT THE AIR-HANDLING SYSTEM IS SHUT DOWN UPON ACTIVATION OF THE AIR-HANDLING UNIT SMOKE DETECTOR. DUCT TAPE SHALL NOT BE UTILIZED IN ANY APPLICATION WITH THE MECHANICAL EQUIPMENT OR DUCT INSTALLATION. METAL TAPE IS APPROVED.

ALL LOW VOLTAGE WIRING FOR MECHANICAL HVAC (DDC) CONTROLS AND ANY AND ALL OTHER USES MUST BE RUN AT RIGHT 90 DEGREE ANGLES AND PROPERLY SUPPORTED. NO LOW VOLTAGE WIRING MAY CROSS OVER CEILING LIGHT FIXTURES. IF REQUIRED BY THE BUILDING DEPARTMENT, ALL NON-EXPOSED DUCT WORK MUST BE INSPECTED PRIOR TO BEING EXTERNALLY INSULATED, WRAPPED, IF REQUIRED BY THE BUILDING DEPARTMENT. TYPE B AND TYPE B-W GAS VENTS MUST BE SECURED IN THE VERTICAL WITH METAL STRAP. SCREWS ARE NOT ALLOWED IN THE INSTALLATION OF TYPE B AND B-W GAS FLUE VENTS AS A JOINT FASTENER.

"FIELD CONDITIONS," IF LOCATIONS CHANGE OR REVISIONS MADE TO THE MECHANICAL SYSTEM APART FROM THE DRAWING, DUE TO SITE CONDITIONS, THEY MUST BE NOTED ON A REVISED DRAWING AND SUPPLIED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION AS "AS BUILT DRAWINGS." THESE REVISED DRAWINGS WILL BECOME PERMANENT RECORDS FOR THE PROJECT AND USED AT THE TIME OF FINAL INSPECTION.

A COPY OF ALL MANUFACTURERS' INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT TIME OF INSPECTION. ALL METALLIC DUCTS SHALL BE CONSTRUCTED AS SPECIFIED IN THE SMACNA HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE. ELECTRICAL WIRING CONTROLS AND CONNECTIONS TO EQUIPMENT AND APPLIANCES REGULATED BY THE MECHANICAL CODE SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

NUM	ROOM NAME	AREA	MECHANICAL VENTILATION (IMC TABLE 403.3 COMPL.)					SERVED BY		
			CODE REQUIRED	ACTUAL				SUPPLY	EXHAUST	
			SUPPLY	EXHAUST	SUPPLY	EXHAUST	RETURN	SUPPLY	EXHAUST	
1	PEDICURE & NAIL	1400	1.4X500=700	24STATIONS X50=1200	4900	1200		EXIST'G AHU-1, AHU-2	EF-1	
2	EMPLOYEE	250	0.25X500=125	N.R			1300	EXIST'G AHU-2		
TOTAL SUPPLY (EXIST'G AHU-1, AHU-2)					4000					
TOTAL EXHAUST (NEW EF-1)						1200				
TOTAL RETURN AIR (EXIST'G AHU-1, AHU-2)							2600			
TOTAL OUTDOOR AIR					825	PROVIDE OUTSIDE AIR 1000CFM THRU EXIST'G AHU-1, AHU-2				

MARK	QTY.	MANUF.	MODEL	CFM	REMARKS
EXIST'G AHU-1	1	EXIST'G	EXIST'G	2000	EXIST'G 120,000 BTU INPUT FOR EXISTING SECTION
EXIST'G AHU-2	1	EXIST'G	EXIST'G	2000	EXIST'G 120,000 BTU INPUT FOR EXPANSION SPACE
EF-1	1	BY OWNER	BY OWNER	1200	INLINE EXHAUST FAN

VILLAGE OF OAK PARK  
CONSTRUCTION DOCUMENT(S)  
**REVIEWED FOR COMPLIANCE**  
KEEP A PRINTED APPROVED COPY OF THE PLANS ON SITE AT ALL TIMES FOR CONTRACTORS AND INSPECTORS

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LICENSE NO: 001-022013  
EXPIRES: 11/30/2024  
MEP ENGINEER  
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EXPIRES: 11/30/2023

COCO NAIL SALON  
EXPANSION &  
INTERIOR REMODELING  
323-327 SOUTH BLVD OAK PARK IL 60302

ISSUES	DATE
ISSUED FOR PERMIT	08/28/2022
REISSUED FOR PERMIT	10/25/2022
REISSUED FOR PERMIT	11/29/2022
REISSUED FOR PERMIT	03/30/2022



MECHANICAL  
PLAN & NOTES

SHEET NUMBER  
**M1**





**PLUMBING NOTES**

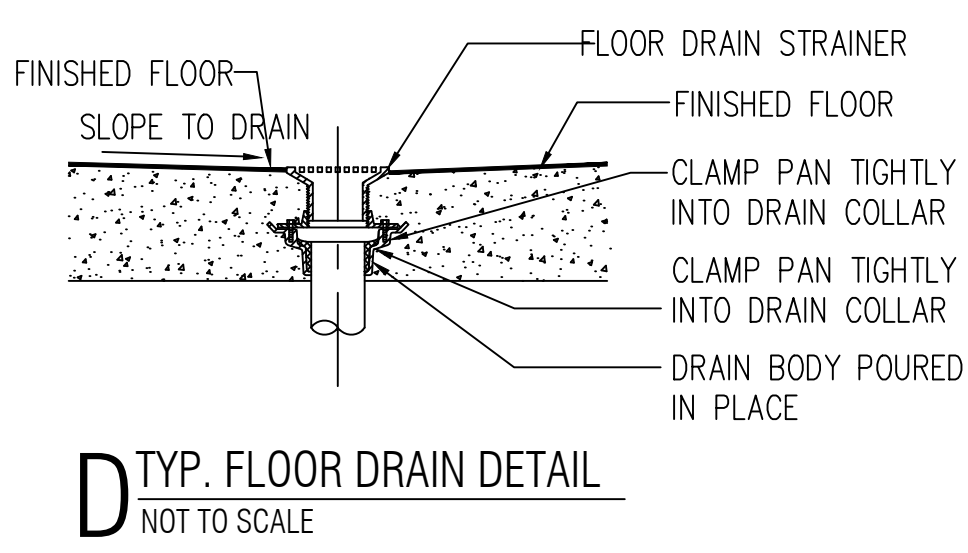
1. PROVIDE ALL LABOR, MATERIALS, REQUIRED PERMITS, INSPECTION FEE NECESSARY FOR AND INCIDENTAL TO THE INSTALLATION OF COMPLETE PLUMBING SYSTEM INCLUDING ALL PIPES, FITTINGS, EQUIPMENTS AND NECESSARY APPURTENANCE.
2. ALL PLUMBING INSTALLATIONS SHALL MEET STATE OF ILLINOIS PLUMBING CODE REQUIREMENTS.
3. ALL ABOVE GROUND SUPPLY WATER PIPING SHALL BE COPPER TYPE "L". TYPE "K" COPPER FOR UNDERGROUND. ALL UNDERGROUND VACUUM LINES TO BE TYPE "K" COPPER.
4. PROVIDE DOUBLE CHECK VALVES WITH ATMOSPHERIC VENTS OR REDUCED PRESSURE ZONED BACKFLOW PREVENTERS CAPABLE OF BEING SUBMERGED ON WATER INLETS WHERE YOU CANNOT INSTALL A VACUUM BREAKER AFTER THE LAST SHUT OFF VALVE OR SOLENOID SWITCH.
5. ALL PLUMBING VENT TERMINALS SHALL BE LOCATED NOT LESS THAN TWELVE FEET (12') HORIZONTALLY FROM ANY FRESH AIR INTAKE AT THE ROOF.
6. PROVIDE THERMOSTATIC MIXING VALVE TO EACH LAV. FAUCET AND AS INDICATED ON SUPPLY RISER DIAGRAM WITH WATER TEMPERATURE SETTING POINT OF 110° F - DEVICE TO COMPLY W/ ANSI/ASSE 1016 OR 1017. TO PREVENT BACKFLOW AN ANSI 1013 COMPLIANT RPZ MUST BE INSTALLED FOR ALL SOAP ASPIRATORS.

PLUMBING FIXTURE & FITTING SCHEDULE			
FIXTURE	MODEL	MODEL NO/ REMARKS	QUANTITY
50 GALLON ELECTRIC HOT WATER HEATER			1
PEDICURE CHAIR			6
WASHER			1
TOTAL			8
FAUCET		ADA COMPLIANT, ASME/ANSI 116/117 COMPLIANT, SET TO 110F MAX	

PLUMBING FIXTURE SCHEDULES	
FIXTURE	QTY.
WASHER	1
PEDICURE CHAIR	6
HOT WATER HEATER	1
TOTAL	8

WATER USAGE CALCULATION				
PLUMBING FIXTURES	NO.	LOAD VALVES IN WATER SUPPLY FIXTURES UNITS		TOTAL
		COLD	HOT	
WASHER	1	1.5	1.5	2
PEDICURES	6	1	1	12
TOTAL				14

TOTAL 14 WSFU. REQUIRE 10.4GPM THE METER SIZE REQUIRE 3/4". PIPE SIZE REQUIRE 3/4" AS PER TABLE N APPENDIX A

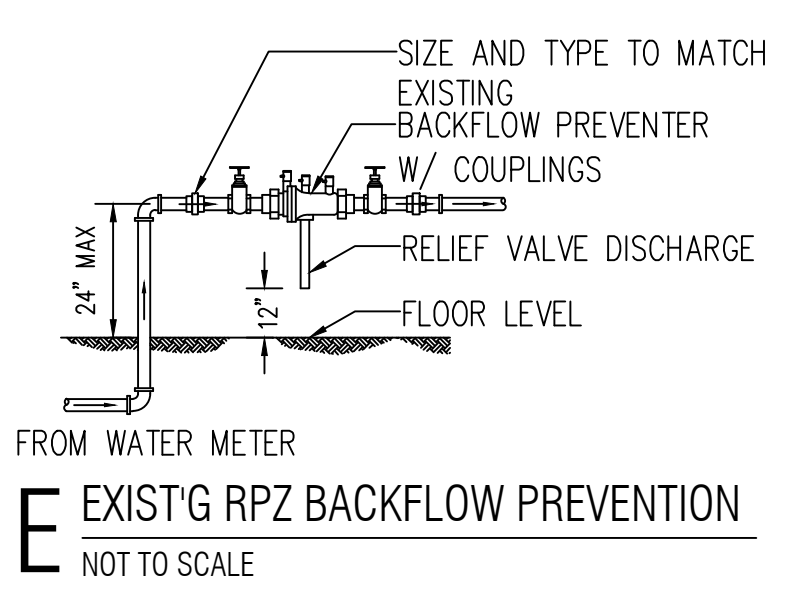
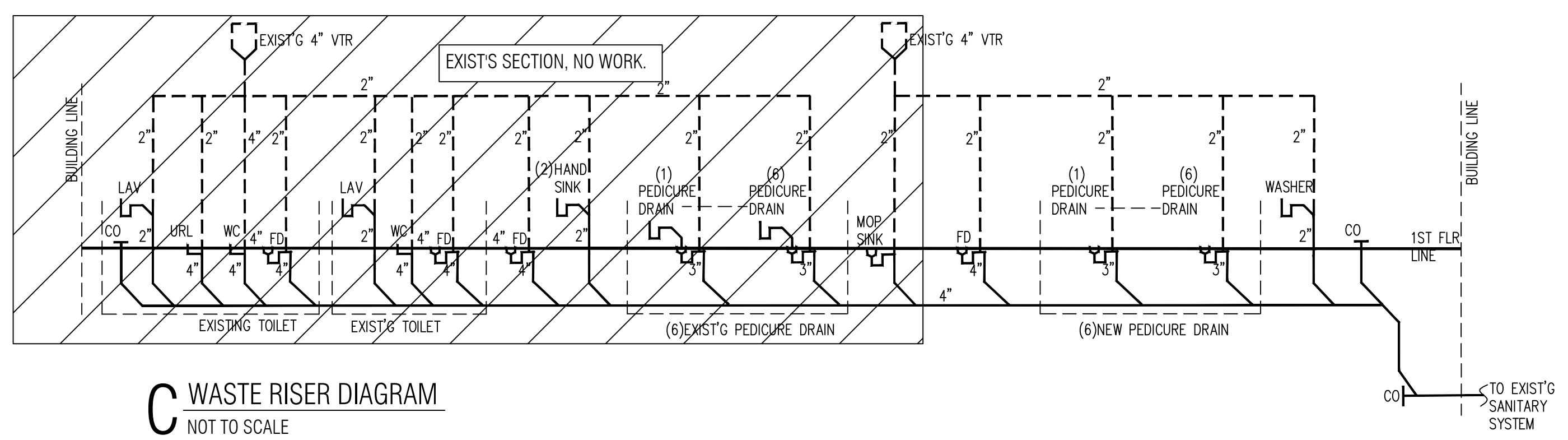
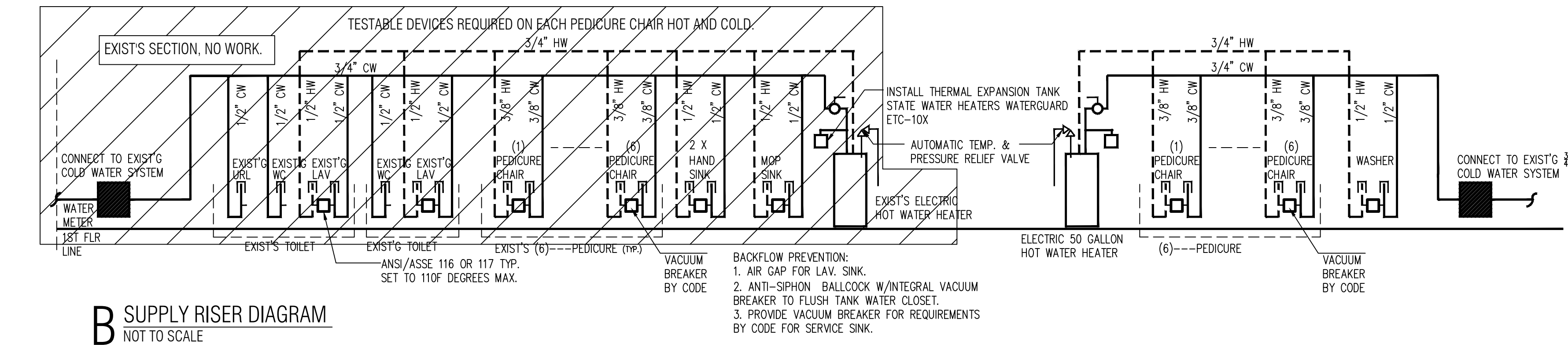
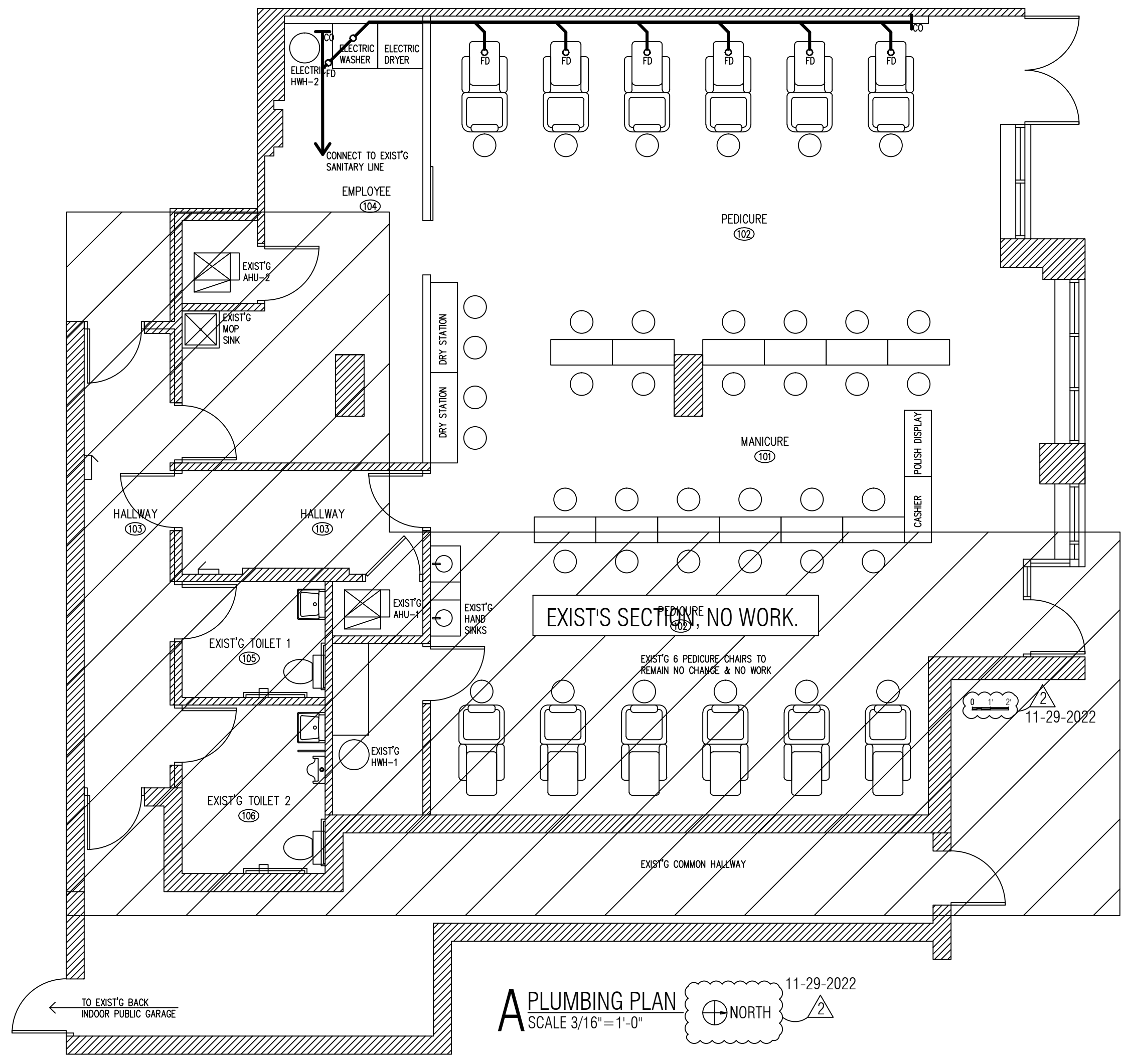


Water piping shall be insulated in accordance with IECC Table C403.11.3. The insulation thickness within walls where required to be one inch (1") or greater shall not be reduced to less than one inch (1") in walls.

1. The Illinois Plumbing Code requires a quantity of specific fixtures based upon the building classification and occupant load. **the wash room rename as "Toilet 1" and "Toilet 2"**
2. The drainage and vent system shall be pressure tested with water or air.
3. A drain down valve shall be installed on the discharge side of the meter valve.
4. Each pedicure chair shall be protected with a minimum dual check valve installed on each hot and cold water supply pipe. The distribution system supplying the pedicure chairs may be configured in such a manner as a designated non-potable water supply system by installing one (1) dual check valve on the main hot and (1) dual check valve on the main cold supply line, therefore isolated from the rest of the potable water system. Some pedicure chair faucets are deck mounted and have an air gap above the spill rim of the bowl and would not require backflow protection. Provide the manufactures cut-sheet for the **selected** units to verify if the water inlets are submerged or have an air gap.
5. Any dry vents shall rise vertically not more than forty-five 45° degrees before offsetting horizontally or before connecting to the branch vent at least six (6") above the flood level rim. Wet vents and floor drains are exempt from this requirement.
6. No more than sixty (60) drainage fixture units (d.f.u.) shall be installed on a three inch(3") vent line.
7. No more than twenty (20) drainage fixture units (d.f.u.) shall be installed on a two inch (2") vent line.

CONTRACTOR SHOULD FOLLOW: 2014 STATE OF ILLINOIS PLUMBING CODE

Equipment with a direct connection to the potable water supply system shall be protected against backflow with an appropriate backflow device. Please indicate such device and Provided a manufacturer's specification sheet on the proposed device. (Section 890.1130(f))



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