

GENERAL PROJECT NOTES

SUMMARY OF WORK

BUILD A NEW 3298SF ONE STORY BRICK VENEER BUILDING INCLUDING RESTAURANT & GAME SHOP. PROVIDE ALL NECESSARY ARCHITECTURAL, ELECTRICAL, HVAC AND PLUMBING WORK AS NOTED.

GENERAL INSTRUCTIONS

THESE DRAWINGS ARE SCOPE DOCUMENTS INDICATING THE GENERAL PROJECT DESIGN CONCEPT, DIMENSIONS OF THE PROJECT, MAJOR ARCHITECTURAL ELEMENTS, AND BASIC ORGANIZATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY DESCRIBE OR INDICATE ALL MATERIALS OR WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR(S) SHALL FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE PROPOSED PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK OR TO SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT. FURTHER MORE THE ARCHITECT MAKES NO WARRANTY EXPRESSED OR IMPLIED ON THESE DOCUMENTS.

DUE TO THE NATURE OF THIS WORK THE ARCHITECT DOES NOT WARRANT THE EXISTING CONDITIONS AS DEPICTED IN THESE DRAWINGS AS BUILT CONDITIONS. THE MEASUREMENTS ON THESE DRAWINGS ARE REASONABLY ACCURATE FOR THE PURPOSE OF "FIGURING;" HOWEVER, IN THE EXECUTION OF WORK ON THE JOB, DO NOT SCALE DRAWINGS. EACH CONTRACTOR IS REQUIRED TO VERIFY ALL DIMENSIONS WITH THE ACTUAL CONDITIONS AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT, OWNER, OR THE OWNER'S REPRESENTATIVE.

CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS AND FEES REQUIRED TO PERFORM THE WORK, UNLESS DIRECTED OTHERWISE BY OWNER.

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND SAFETY OF HIS OWN MATERIALS AND WORK, AND FOR PROPERLY REMOVING HIS DEBRIS FROM THE JOB SITE. GENERAL CONTRACTOR (GC) SHALL PROVIDE FOR ALL SITE DEMOLITION AND DEBRIS REMOVAL REQUIRED TO PERFORM NEW CONSTRUCTION WHILE ADEQUATELY MAINTAINING THE PREMISES AND ADJACENT PREMISES TO INSURE NORMAL OCCUPANCY AND SECURITY. THE GC SHALL COORDINATE PROPER TRANSPORTATION AND STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING OF EXISTING FLOOR.

CONTRACTORS INSTALLING PIPES, DUCTS AND CONDUIT WILL BE REQUIRED TO DO ALL CUTTING AND PATCHING IN CONNECTION WITH THEIR WORK, INCLUDING EXCAVATION AND DIGGING. THE OWNER WILL ASSUME NO RESPONSIBILITY FOR THE COST OF CHANGES OR EXTRA WORK MADE NECESSARY BY THE FAILURE OF TRADES TO COORDINATE THEIR WORK DURING CONSTRUCTION.

WHERE APPLICABLE THE GC SHALL CONSTRUCT PHYSICAL BARRIERS AROUND AREAS UNDER CONSTRUCTION AS REQUIRED TO ENSURE GENERAL PUBLIC AND PERSONAL SAFETY.

THE GC SHALL SUPERVISE AND DIRECT THE WORK. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. THE GC SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER HIS CONTRACT. ALL WORK SHALL BE COMPLETED USING PRACTICES ACCEPTED AND ENDORSED BY THE CORRESPONDING TRADE INDUSTRIES.

THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.

THE CONTRACT AND SUBCONTRACT AMOUNTS SHALL PROVIDE COMPLETE WORKING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS COMMENSURATE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES.

WHEN WALLS ARE TO BE "ALIGNED", THE ALIGNMENT OF SUCH WALLS IS TO THE OUTSIDE FINISHED SURFACE, SUCH AS DRYWALL SURFACE.

ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE. DIMENSIONS AND NOTES FOR A GIVEN CONDITION ARE TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

WHERE NEW WORK ADJOINS EXISTING, ALL SUCH NEW WORK SHALL BE PROPERLY INTEGRATED WITH THE EXISTING TO ENSURE UNIFORM APPEARANCE. ANY REPAIR WORK REQUIRED TO EXISTING WORK SHOULD BE TAKEN CARE OF BY THE CONTRACTOR - PROVIDING ALL NECESSARY CUTTING, FITTING AND PATCHING AND SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS FOR THIS WORK. ALL WORK REQUIRING SPECIAL DETAILING, AND NOT DETAILED ON THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES TO AVOID INTERFERENCE. TO PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS.

THE ARCHITECT HAS NO CONTRACTUAL DUTY TO CONTROL MEANS AND METHODS OF THE WORK NOR TO PROVIDE JOB SITE SUPERVISION. ENSURE SAFETY OR CONSTRUCTION MANAGEMENT AND DOES NOT VOLUNTARILY ASSUME ANY SUCH RESPONSIBILITIES.

PROPOSED ONE STORY NEW COMMERCIAL BUILDING AT 2811 NORTH DIRKSEN PKWY SPRINGFIELD IL

ARCHITECT

WEI TAN
TW ARCHITECT INC
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

STRUCTURAL ENGINEER

VLADIMIR KOVACEVIC
ANAX ENGINEERING INC
122 S MICHIGAN AVE SUITE 1390
CHICAGO IL 60603
PHONE: (847)-834-9835
EMAIL: VLAD@ANAXENG.COM

PE ENGINEER

XIAOBAI WANG
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312)720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11/30/2023

All EIFS systems must be of the water-managed variety, and must consist of a complete water-managed system as supplied by the EIFS manufacturer. The water-managed system includes, but is not limited to: a water resistive barrier behind the EIFS system, mesh reinforcing at sheathing panel joints, vertical grooves in the polystyrene or in the adhesive to allow water to be channeled vertically to the base of the system, expansion joints at dissimilar sheathing or backing materials, drainage channels above doors and windows, drainage channels at the base of the system to allow the escape of water from within the EIFS system to the exterior of the building. In addition, the EIFS contractor must be certified by the EIFS manufacturer to install a water-managed EIFS system, and a copy of the contractor certification must be submitted to this department.

The City of Springfield requires an imposed roof snow load of 30 psf, per City of Springfield municipal code 170.11.03

For section 1609.4, only exposure c or d shall be used for wind design.

Per IFC 904 a commercial hood and duct system shall be installed. This shall include the proper hood extinguishing system. The hood contractor shall apply for and pull a separate permit for the hood system.

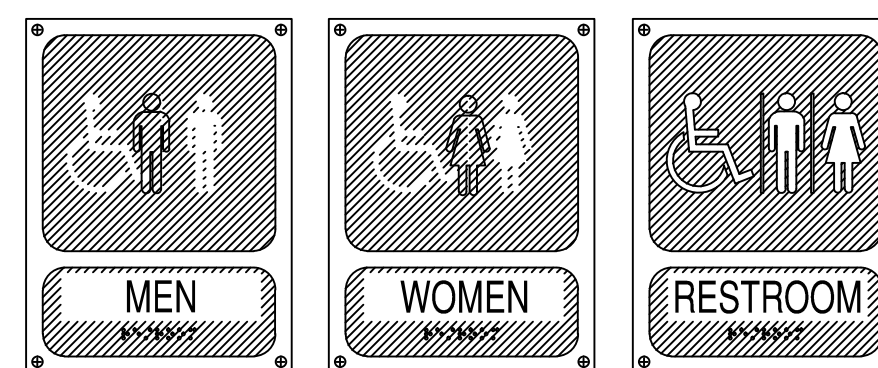
a. The hood tests shall be witnessed. Testing shall be scheduled with the Fire Safety Division and Mechanical inspector at least 24 hours in advance for all tests.

2. The occupancy load shall be posted at the entrance for all assembly type occupancies.

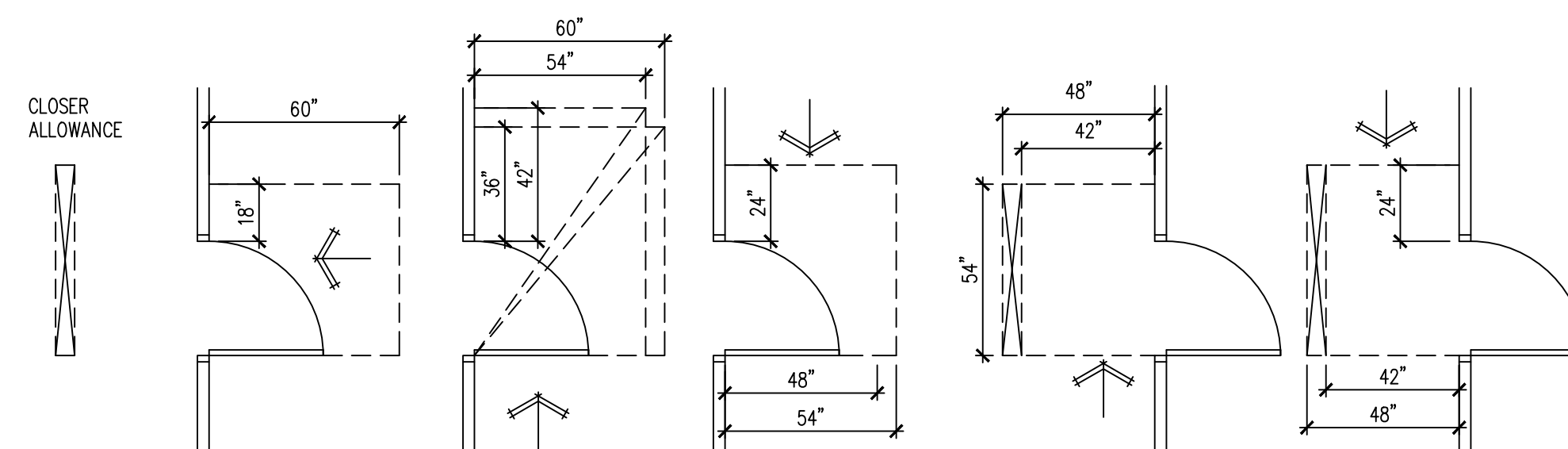
3. There shall be a Class K fire extinguisher in the kitchen within the guidelines set forth in section 904.11.5 of the IFC.

ACCESSIBILITY REQUIREMENTS

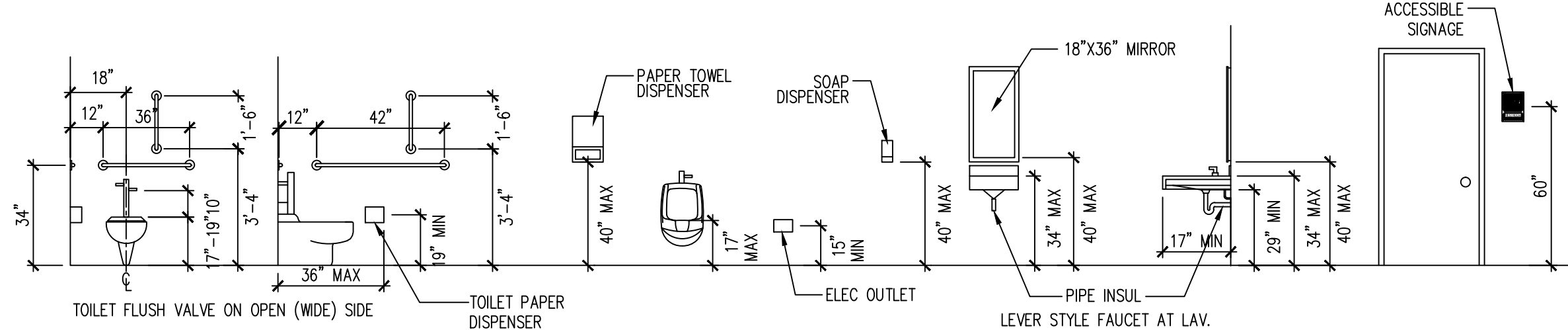
TOILET ROOMS REQUIRED TO BE ACCESSIBLE SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT WHICH INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:



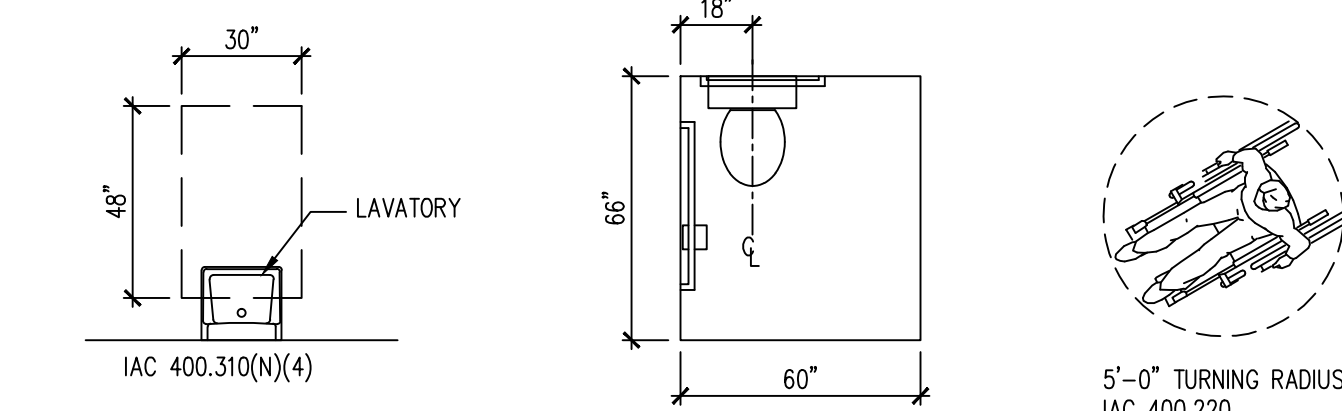
B ACCESSIBLE SIGNAGE
NOT TO SCALE



D DOOR MANEUVERING CLEARANCE
NOT TO SCALE



E ACCESSIBLE MOUNTING HEIGHTS
NOT TO SCALE



C TYPICAL ACCESSIBILITY REQUIREMENTS
NOT TO SCALE

INDEX OF DRAWINGS

- A0 PROJECT NOTES
- A1 LANDSCAPE PLAN & NOTES
- A2 FLOOR PLAN & NOTES
- A3 ELEVATIONS
- A4 WALL SECTIONS
- A5 FRAMING PLAN & ROOF PLAN
- A6 LADDER DETAILS
- A7 DUMPSTER DETAILS
- E1 ELECTRICAL POWER PLANS
- E2 ELECTRICAL LIGHTING PLAN
- M1 MECHANICAL PLANS
- M2 HOOD DETAILS
- P1 PLUMBING PLAN & NOTES
- P2 GAS PIPING PLAN & NOTES

CODE DATA

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL LAWS, ORDINANCES, STANDARDS AND REGULATORY AGENCIES INCLUDING BUT NOT LIMITED TO THE REQUIREMENTS (INCLUDING LOCAL AMENDMENTS) OF

- 2012 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL FUEL GAS CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2014 ILLINOIS STATE PLUMBING CODE
- 2018 ILLINOIS ACCESSIBILITY CODE
- 2000 NFPA 101 LIFE SAFETY CODE

PROJECT DATA

USE GROUP CLASSIFICATION	A-2
CONSTRUCTION TYPE	VB 03-28-2022
TOTAL FLOOR AREA	3298SF
EXIT ACCESS TRAVEL DISTANCE	75 FT MAXIMUM
AUTOMATIC SPRINKLERS	NO
DINING AREA OCCUPANTS	54 FIXED SEATING OCCUPANTS
WAITING AREA	90SF / 15 = 6 OCCUPANTS
KITCHEN AREA OCCUPANTS	1000SF/200 = 5 OCCUPANTS
SLOT FLOOR AREA	600SF
OFFICE OCCUPANTS	48SF / 200 = 1 OCCUPANTS
SLOT AREA OCCUPANTS	600SF / 100 = 6 OCCUPANTS
TOTAL OCCUPANT LOADS	72 OCCUPANTS
MAXIMUM HEIGHT	1 STORY
REQUIRED NUMBER OF EXITS:	2 ACTUAL 4
MINIMUM CORRIDOR WIDTH	48"



Wei Tan

I HEREBY CERTIFY THAT THESE DRAWINGS ARE PREPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM WITH APPLICABLE CODES.

LIC EXPIRES NOV 30, 2022

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616

PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com

LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MEP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616

PHONE: (312)720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11/30/2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



PROJECT NOTES

SHEET NUMBER

A0

LANDSCAPING NOTES

- CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN STRICT ACCORDANCE WITH ALL SPECIFICATIONS RELATED TO THIS PROJECT INCLUDING LANDSCAPE GRADING, HYDROSEEDING, AND PLANT MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK.
- STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, AND FREE OF PESTS AND DISEASE.
- BALLED AND BURLAPPED PLANTS SHALL BE PROVIDED FROM GROWING SOURCES WITH THE SAME CLIMATIC CONDITIONS.
- TREES MUST BE STRAIGHT TRUNKED WITH FULL CROWNS AND MEET ALL REQUIREMENTS SPECIFIED. TREES SHALL BE SINGLE LEADER, UNLESS OTHERWISE SPECIFIED.
- ANY PLANTS DUG 'IN LEAF' SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- ALL PLANTS ARE SUBJECT TO OWNER'S APPROVAL BEFORE, DURING AND AFTER INSTALLATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF OPERATIONS.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- OWNER SHALL APPROVE STAKED LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- ALL PLANTS SHALL BE MULCHED AS SPECIFIED USING SHREDDED HARDWOOD MULCH. SHRUBS IN MASSES OR ROWS WILL BE MULCHED CONTINUOUSLY BETWEEN PLANTS. BEDS SHALL BE MULCHED CONTINUOUSLY.
- CONTRACTOR SHALL FULLY MAINTAIN (INCLUDING WATERING, TRIMMING, TREATMENT OF INSECTS OR DISEASE) ALL SEED AREAS AND PLANTS FOR TWO (2) FULL MONTHS OR UNTIL FINAL PROJECT ACCEPTANCE, WHICHEVER IS LONGER WORK WILL BE ACCEPTED ONLY WHEN TURF AND PLANT MATERIAL IS IN HEALTHY AND ATTRACTIVE CONDITION.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL AND SEEDING FOR A PERIOD OF ONE (1) YEAR PLUS ONE GROWING SEASON BEGINNING ON THE DATE OF PROJECT ACCEPTANCE. ANY MATERIAL THAT DIES, IN PART OR WHOLE, OR DEFOOLIATES SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE AND QUANTITY. THE CONTRACTOR SHALL MAKE REPLACEMENTS PROMPTLY AS REQUESTED BY OWNER. MAINTENANCE AFTER SUBSTANTIAL COMPLETION IS THE RESPONSIBILITY OF THE OWNER. ALL UNPAVED AREAS SHOWN SHALL RECEIVE HYDROSEEDING.
- PROVIDE SOIL IN PLANTING AREAS WHERE PAVING AND GRAVEL SUB-BASE WERE REMOVED.
- PROVIDE PROPOSED PLANT SPECIES WITH BID FOR APPROVAL.

MARK	SYMBOL	DESCRIPTION	SIZE	
T-1		EVERGREEN TREE (TREE CLASSIFICATION) EASTERN WHITE PINE (PINUS STROBUS)	1.5' BB 10' MIN. HT.	18 pts. +5 pts. (NATIVE PLANTING) 23 PTS. EA.
S-1		DECIDUOUS SHRUBS (SHRUB CLASSIFICATION) 'GRO-LOW' SUMAC (RHUS AROMATICA)	3-GAL. CONTAINER 24" HEIGHT	2 pts. +3 pts. (NATIVE PLANTING) 5 PTS. EA.
S-2		DECIDUOUS SHRUBS (SHRUB CLASSIFICATION) SPIREA 'GOLD FLAME'	3-GAL. CONTAINER 24" HEIGHT	2 pts. +3 pts. (NATIVE PLANTING) 5 PTS. EA.

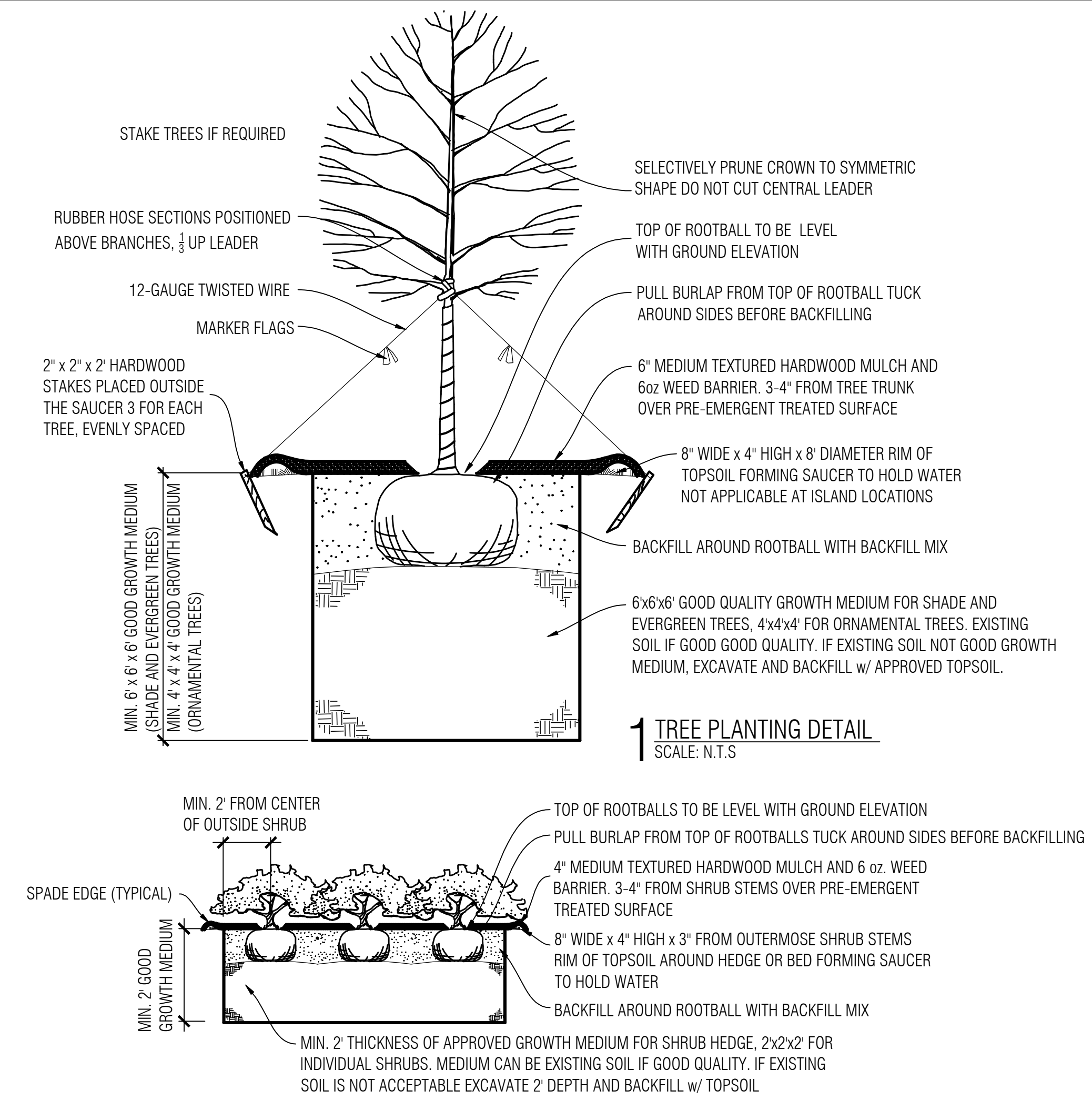
LANDSCAPING CALCULATIONS

STREET FRONT	100.0' = 50 PTS. REQ'D
(3) EVERGREEN TREES @ 23 PTS. EA.	= 69 PTS.
(2) DECIDUOUS SHRUBS @ 5 PTS. EA.	= 10 PTS.
TOTAL	= 79 PTS.
PARKING	24 TOTAL SPACES = 24 PTS. REQ'D
(18) DECIDUOUS SHRUBS @ 5 PTS. EA.	= 90 PTS.
TOTAL	= 90 PTS.
TOTAL POINTS REQUIRED	= 74 PTS.
TOTAL POINTS PROVIDED	= 169 PTS.

REQUIRED PARKING CALCULATIONS

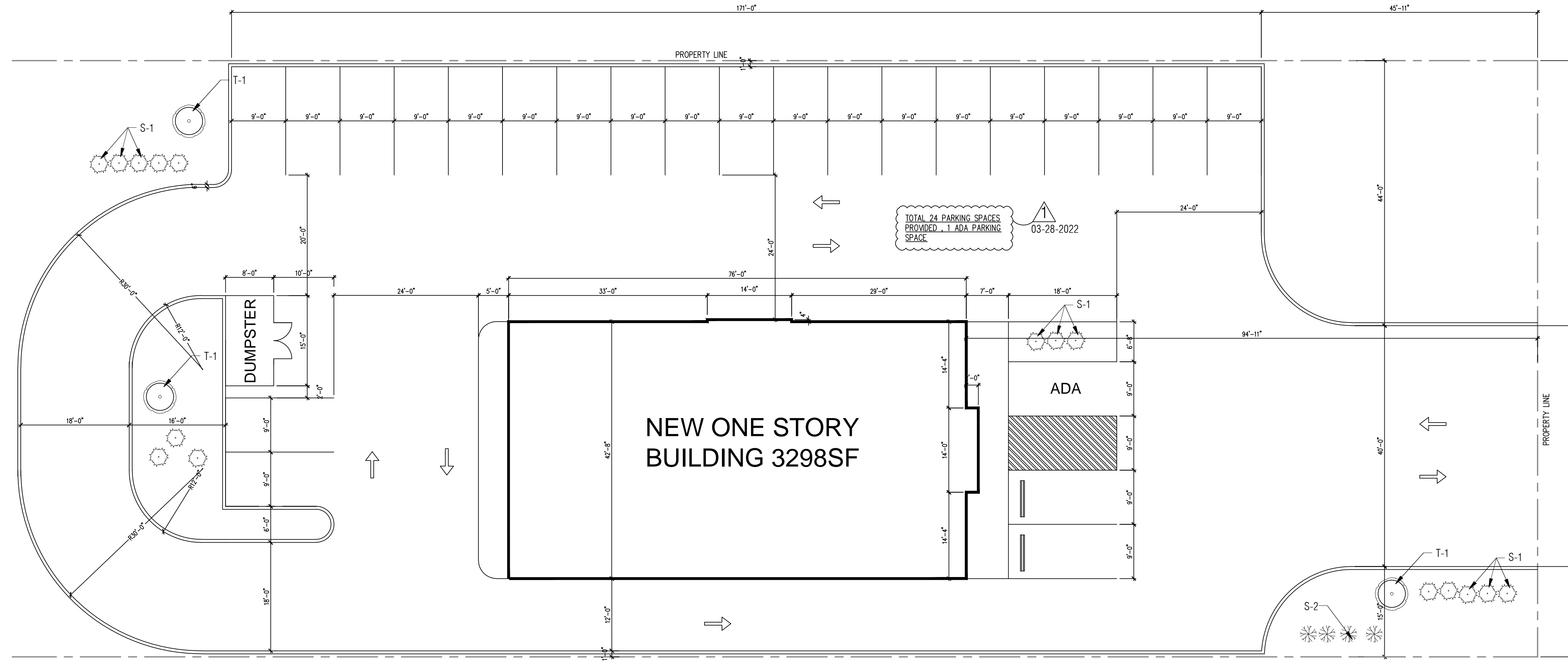
- 990SF DINING AREA /100SF = 10 PARKING SPACES
 - 578SF GAME AREA /100SF = 6 PARKING SPACES
 - THE OTHER KITCHEN AREA 868SF /100SF = 8 PARKING SPACES
- TOTAL CODE REQUIRED PARKING SPACES = 10+6+8 = 24 PARKING SPACES AND ONE ADA PARKING SPACE REQUIRED.

03-28-2022



1 TREE PLANTING DETAIL
SCALE: N.T.S.

2 SHRUB HEDGE PLANTING DETAIL
SCALE: N.T.S.



LANDSCAPE PLAN
SCALE 3/32"=1'-0"

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312)720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 /2023

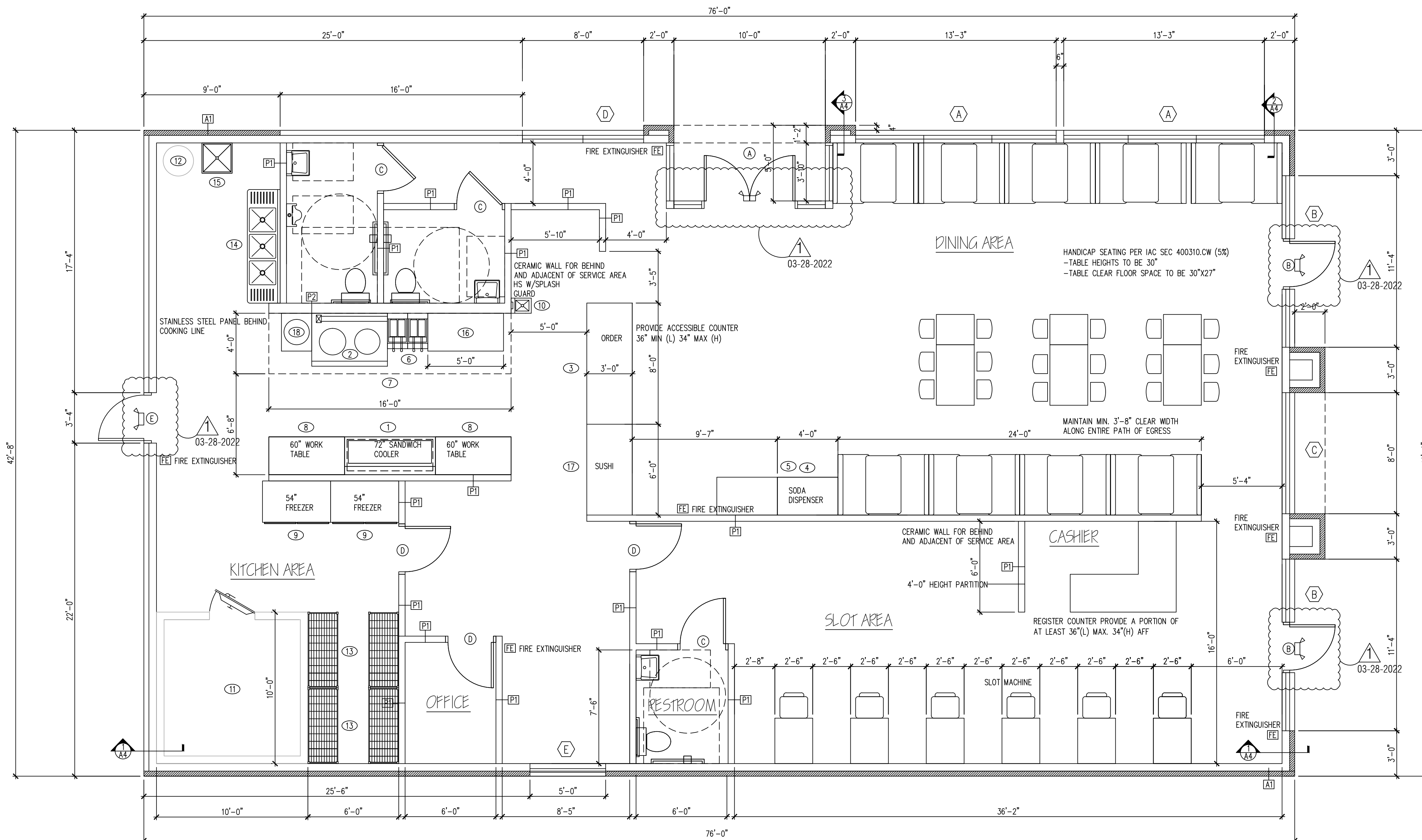
DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



LANDSCAPE
PLAN & NOTES

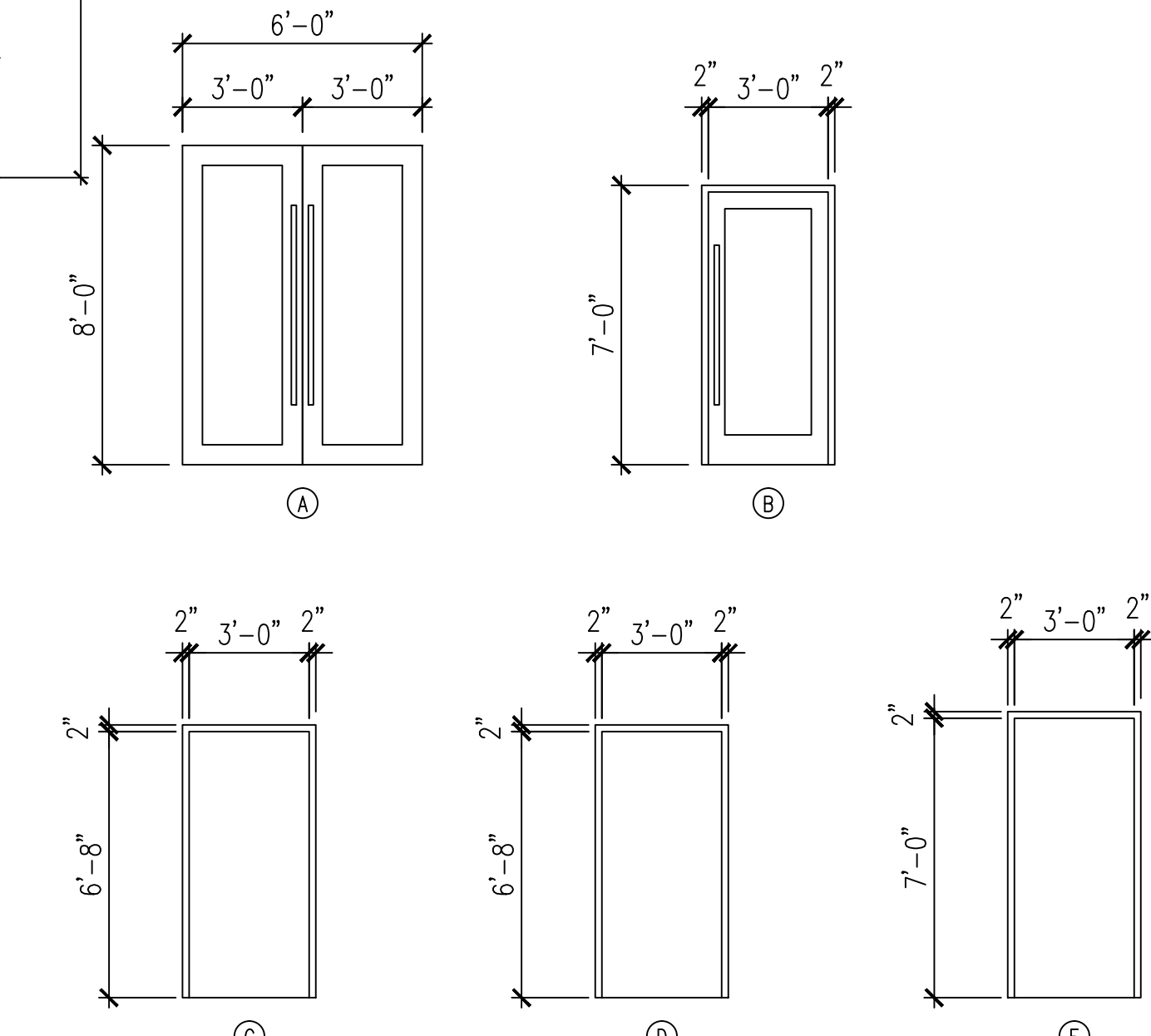
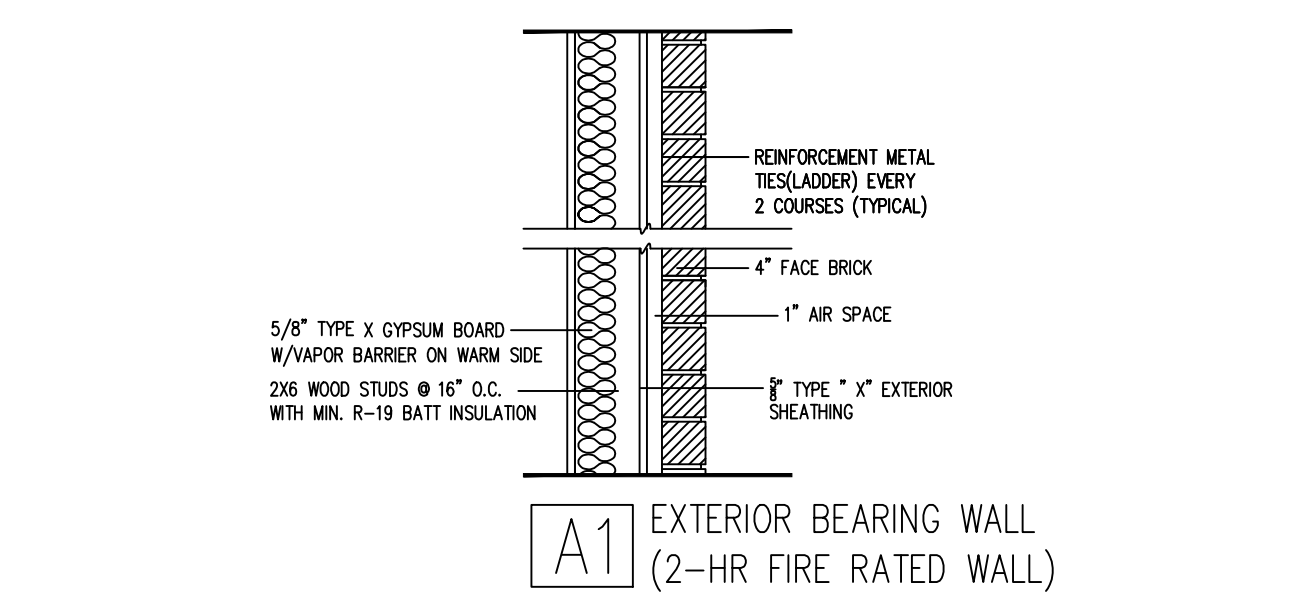
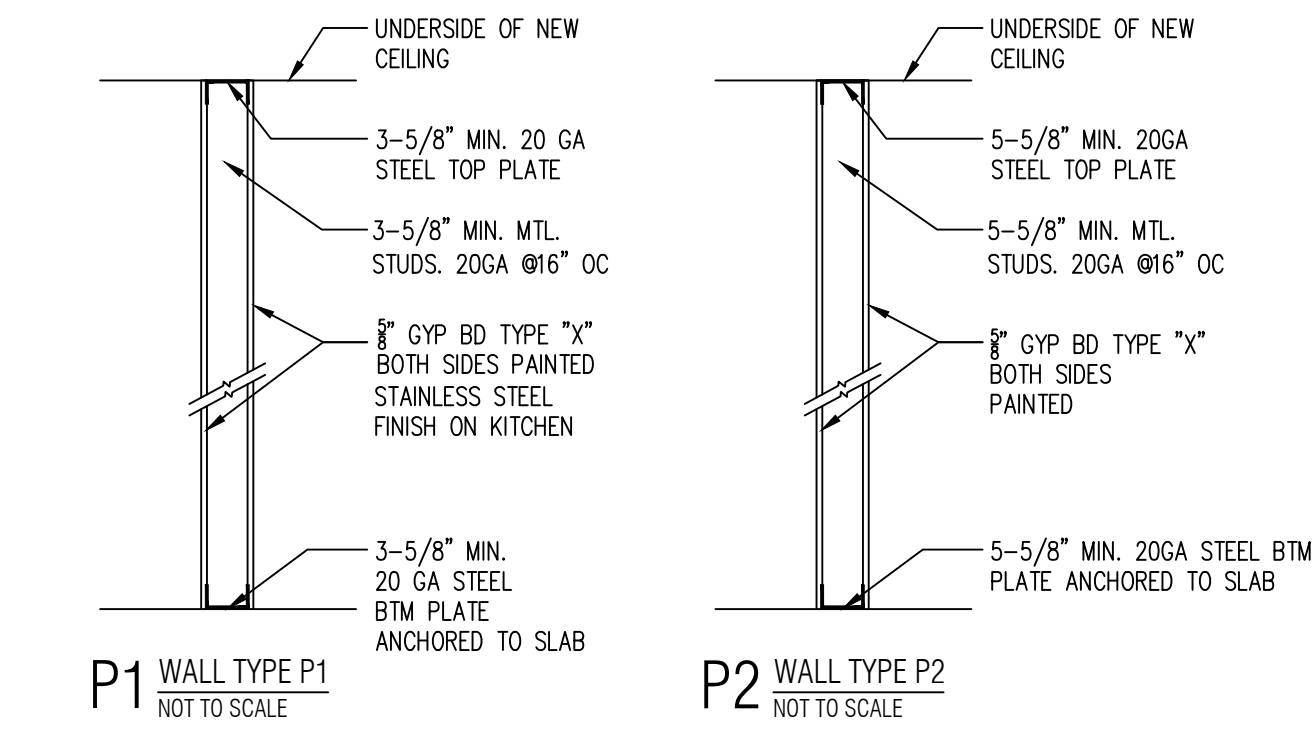
SHEET NUMBER
A1



A FLOOR PLAN
SCALE 1/4" = 1'-0"

OCCUPANT LOAD SIGNAGE WILL BE PLACED IN A CONSPICUOUS LOCATION AT THE ENTRANCE TO THE RESTAURANT AND EACH ASSEMBLY SPACE.
THE EXIT DOORS ARE EQUIPPED WITH PANIC HARDWARE IBC 1008.1.9
EMERGENCY AND GENERAL EGRESS DISCHARGE LIGHTING. IBC 1006.1 ON SHEET E1

WINDOW		SCHEDULE	
MARK	ROUGH OPEN'G	GLASS AREA(SF)	TYPE
A	13'-3" x 7'-0"	90	TEMPERED GLASS STOREFRONT
B	11'-4" x 9'-0"	99	TEMPERED GLASS STOREFRONT
C	8'-0" x 9'-0"	72	TEMPERED GLASS STOREFRONT
D	8'-0" x 7'-0"	56	TEMPERED GLASS STOREFRONT
E	5'-0" x 3'-0"	15	SLIDE WINDOW



EQUIPMENT SCHEDULE						
NO	QTY	DESCRIPTION	GAS	ELECTRIC	PLUMBING	REMARKS
1	1	SANDWICH COOLER	-	120V	4A	NSF
2	1	CHINESE WOK	3/4"	-	-	1/2" CW, 4" INDIRECT DRAIN NSF, 220000 BTU
3	1	STAINLESS COUNTER W/CABINETS	-	-	-	NSF
4	1	SODA DISPENSER	-	-	1/2" CW, 4" INDIRECT DRAIN	NSF
5	1	ICE MAKER	-	240V	-	NSF
6	2	DEEP FRYER	3/4"	-	-	NSF, 120000 BTU
7	1	18" X 14" EXHAUST HOOD, TYPE I	-	-	-	U.L. W/ANSUL FIRE SUPPRESSION SYSTEM
8	2	WORK TABLE	-	-	-	NSF, W/ 6" STAINLESS STEEL LEGS NSF APPROVED
9	2	54" REACH-IN FREEZER	-	120V	-	NSF
10	1	HAND SINK	-	-	1/2" CW, 1/2" HW, 2" DRAIN	NSF, WALL MOUNTED - SEALED
11	1	10X10 WALK IN COOLER	-	240V	-	NSF
12	1	HOT WATER HEATER	3/4"	120V	3/4" CW, 3/4" HW	NSF, 75 GALLONS
13	4	STAINLESS SHELVE	-	-	-	NSF APPROVED STAINLESS STEEL SHELVE
14	1	3 COMPARTMENT SINK	-	-	1/2" CW, 1/2" HW, 4" INDIRECT DRAIN	NSF, W/ ECOLAB PATHWAY TO PREVENT BACKFLOW
15	1	MOP SINK	-	-	1/2" CW, 1/2" HW, 4" DRAIN	NSF, W/ MOP HOOKS, SEAL EDGES
16	1	GRIDDLE	3/4"	-	-	NSF, 150000 BTU
17	1	SUSHI COUNTER	-	120V	-	NSF
18	1	RICE COOKER	3/4"	-	-	NSF, 350000 BTU

ALL EQUIPMENTS WILL BE NSF APPROVED CLEAN, OPERABLE AND SUBJECT TO THE FINAL APPROVAL BY THE HEALTH DEPARTMENT

ROOM FINISH SCHEDULE					
NO	ROOM	WALLS	BASE	FLOOR	CEILING
100	ENTRY	TEMPERED GLASS	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
	CASHIER AREA	CERAMIC TILE	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
101	KITCHEN	STAINLESS STEEL	OT COVE BASE	QUARRY TILE	2X4 VINYL TILES CEILING
102	DINING AREA	AN EPOXY PAINT	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
103	HALLWAY	AN EPOXY PAINT	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
104	WOMEN	CERAMIC TILE	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
105	MEN	CERAMIC TILE	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
107	GAME AREA	AN EPOXY PAINT	OT COVE BASE	FLOOR TILE	GYP BD PAINTED
108	OFFICE	AN EPOXY PAINT	OT COVE BASE	FLOOR TILE	2X4 LAY IN CEILING
109	RESTROOM	CERAMIC TILE	OT COVE BASE	FLOOR TILE	GYP BD PAINTED

DOOR SCHEDULE								
TAG	DESCRIPTION	FRAME CONSTRUCTION	NOMINAL SIZE W X H	DOOR FINISH	FRAME FINISH	LABEL	HARDWARE SET	COMMENTS
A	STORE FRONT GLASS DOOR	ALUMINUM	6'-0" x 8'-0"	TEMPERED GLASS	ALUMINUM	-	2	FRONT EXIT DOOR
B	TEMPERED GLASS DOOR	ALUMINUM	3'-0" x 7'-0"	TEMPERED GLASS	ALUMINUM	-	2	EXIT DOOR
C	WOOD DOOR	HOLLOW METAL	3'-0" x 6'-8"	PAINT	PAINT	-	1	NEW
D	HOLLOW METAL DOOR	HOLLOW METAL	3'-0" x 6'-8"	PAINT	PAINT	-	2	EXIT DOOR
E	HOLLOW METAL DOOR	HOLLOW METAL	3'-0" x 7'-0"	PAINT	PAINT	-	2	BACK EXIT DOOR

* ALL EXIT DOORS MUST OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE WHICH EGRESS IS MADE
* LEVERED HANDLE HARDWARE AS REQUIRED BY ILLINOIS ACCESSIBILITY CODE
* PROVIDE DOOR CLOSERS ALONG ALL ACCESSIBLE ROUTES

HARDWARE SCHEDULE	
TAG	DESCRIPTION
1	1 1/2 PAIR BUTT HINGES, W/ LEVERED PRIVACY LOCKSET, KICKPLATE AND DOOR CLOSER
2	1 1/2 PAIR BUTT HINGES, PADDLE LATCH EXIT DEVICE AND DOOR CLOSER, PANIC HARDWARE
3	1 1/2 PAIR BUTT HINGES W/ PRIVACY LOCKSET

ALL HARDWARE SHALL BE HEAVY-DUTY COMMERCIAL GRADE AND ADA COMPLIANT. CONTRACTOR TO VERIFY FINISH WITH OWNER.

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

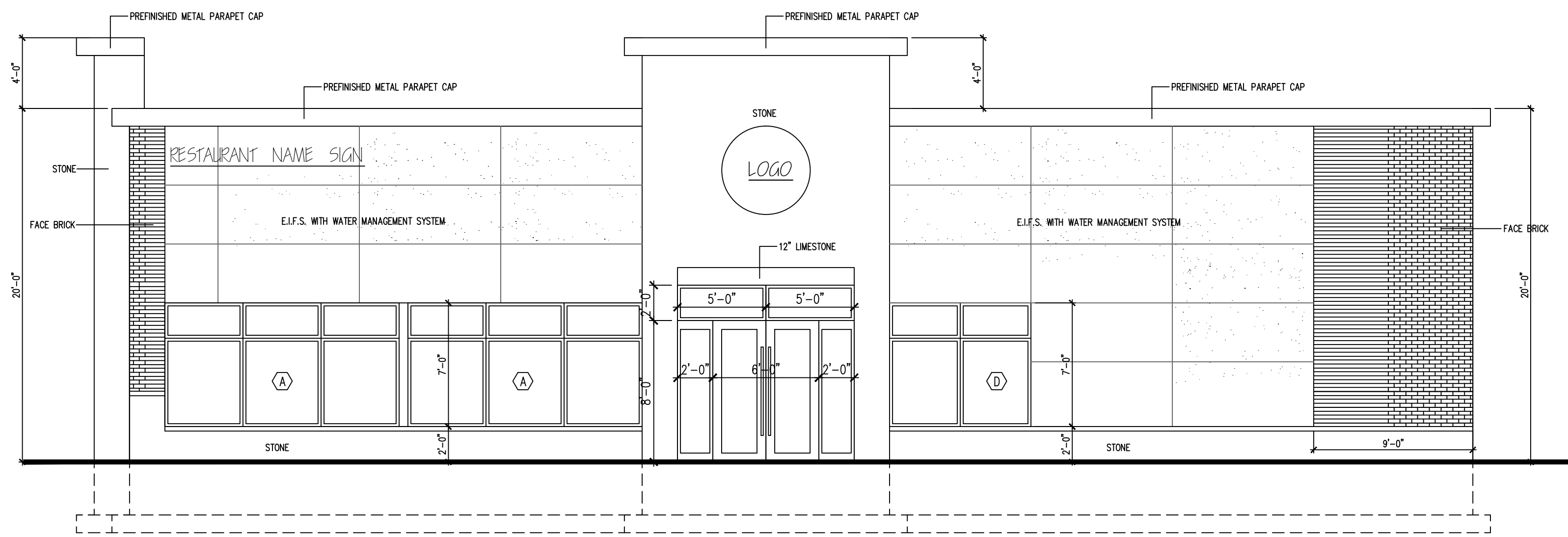
MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 / 2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022

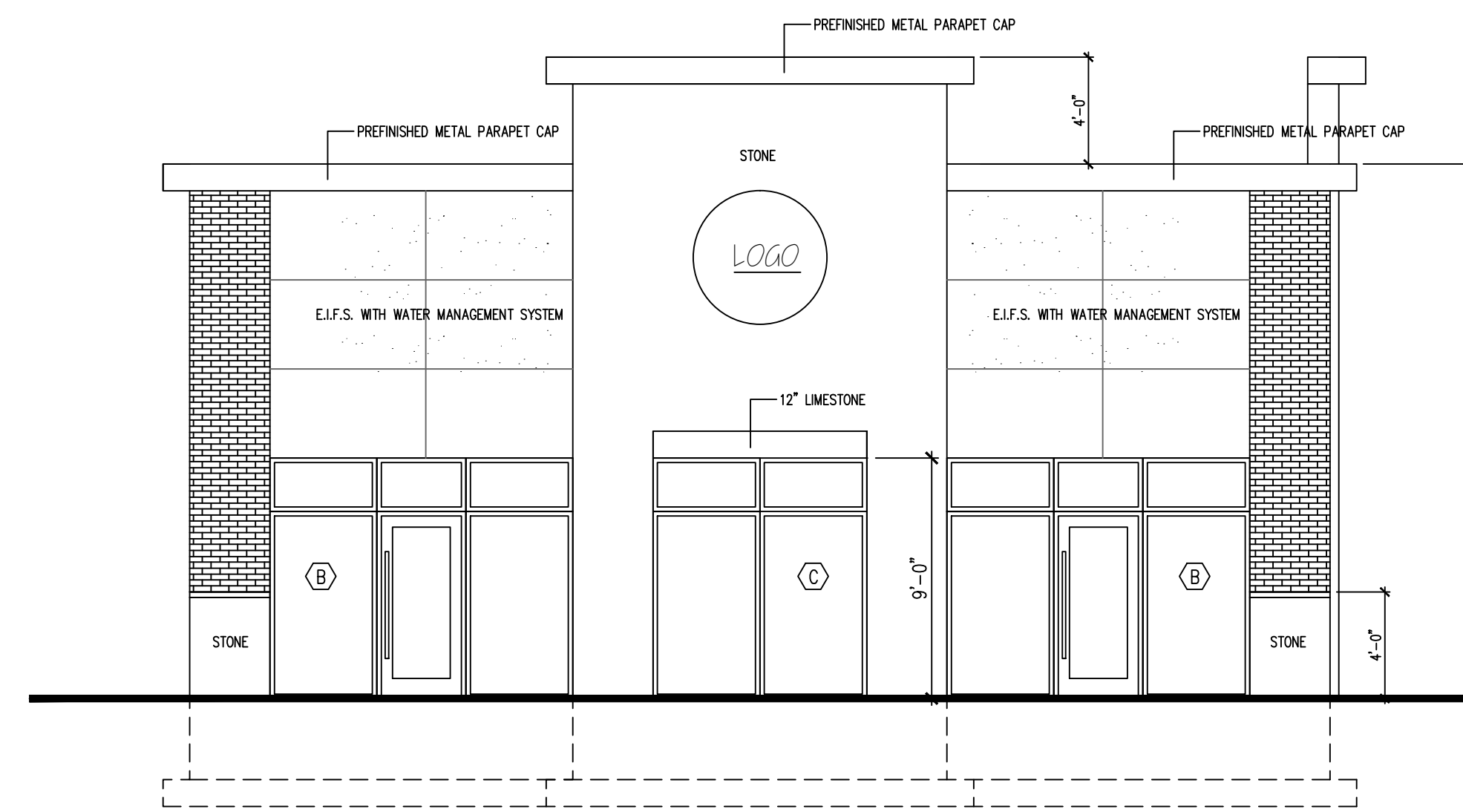


FLOOR PLAN & NOTES
SHEET NUMBER
A2



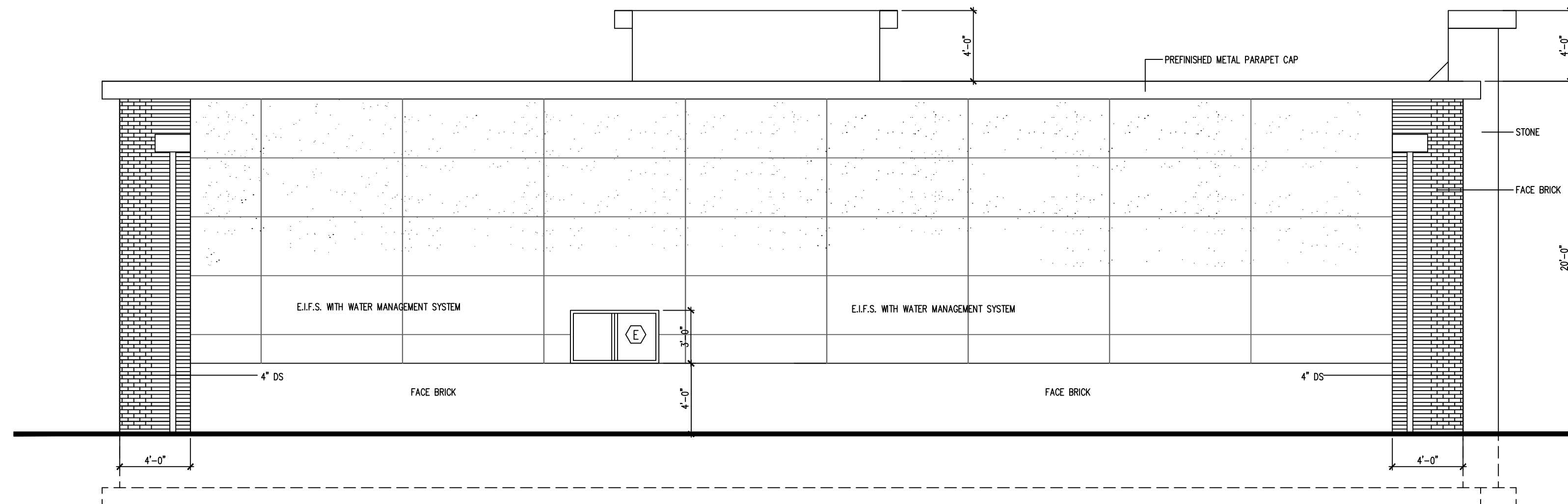
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



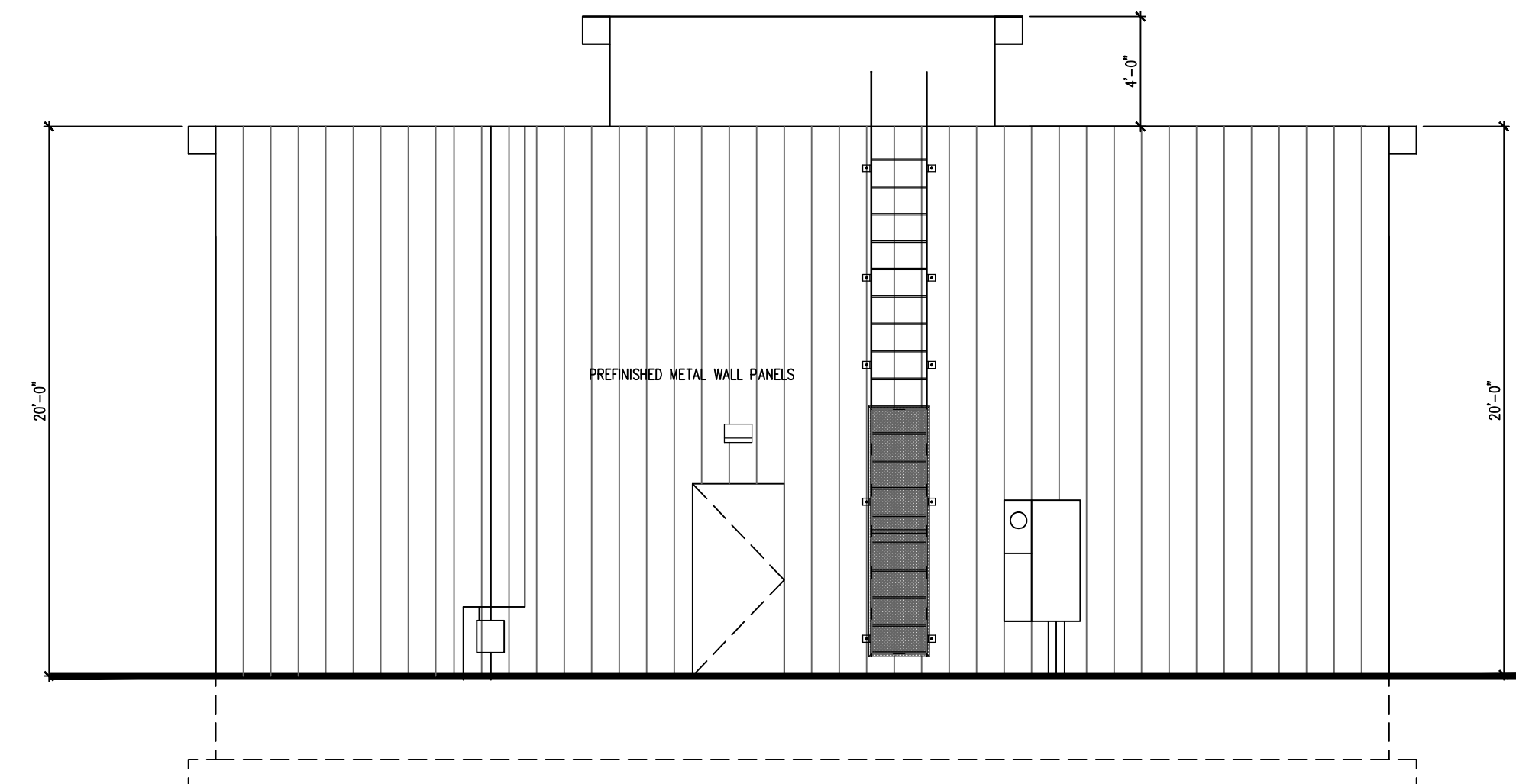
EAST ELEVATION

SCALE: 1/4" = 1'-0"



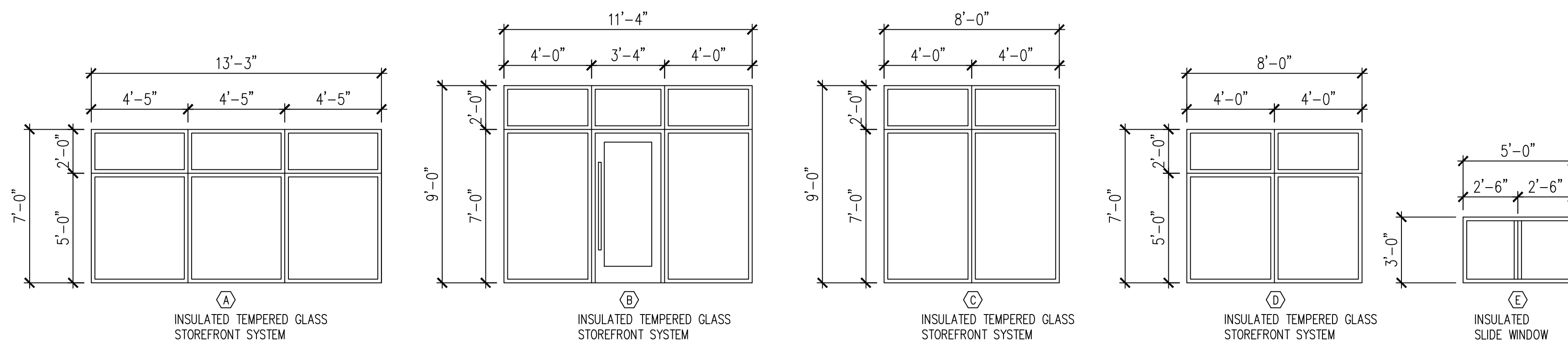
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



E.I.F.S. SPECIFICATIONS

- SYSTEM CONSISTING OF, BUT NOT LIMITED TO:
- BACKSTOP
 - E.P.S. INSULATION BOARD (THICKNESS AS SHOWN) W/ DRAINAGE STRIP
 - BASE COAT
 - REINFORCING MESH
 - I.S. REINFORCING MESH
 - BASE COAT
 - FINISH COAT
 - PROVIDE VENT ASSEMBLES, CLOSURE BLOCKS, STARTER STRIPS, ETC.

E.I.F.S. SHALL BE INSTALLED IN STRICT ACCORD W/ MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. PROVIDE MANUFACTURER'S PERFORMANCE WARRANTY AGAINST WATER INTRUSION THROUGH THE WALL CAVITY AND A (5) YEAR LABOR WARRANTY FROM THE CONTRACTOR. COLOR AND TEXTURE TO BE SELECTED BY THE OWNER.

THE E.I.F.S. SYSTEM WILL BE OF THE WATER-MANAGED VARIETY, AND WILL BE SO DESIGNATED BY THE E.I.F.S. MANUFACTURER. THE WATER-MANAGED E.I.F.S. SYSTEM WILL INCLUDE: MESH REINFORCING AT WALL JOINTS. A WATERPROOFING MEMBRANE APPLIED OVER THE BUILDING VERTICAL GROOVES IN THE POLYSTYRENE OR IN THE ADHESIVE TO CHANNEL WATER TO THE BOTTOM OF THE E.I.F.S. SYSTEM TO ALLOW WATER TO ESCAPE. PROVIDE DRAINAGE CHANNELS ABOVE DOORS AND WINDOWS, AND EXPANSION JOINTS AT DISSIMILAR WALL MATERIALS. THE E.I.F.S. CONTRACTOR WILL BE CERTIFIED BY THE E.I.F.S. MANUFACTURER TO INSTALL A WATER-MANAGED E.I.F.S. SYSTEM, AND THE CONTRACTOR WILL CALL THE CITY BUILDING DEPARTMENT TO SCHEDULE A BUILDING INSPECTION TO OCCUR ON THE DAY THE E.I.F.S. INSTALLATION BEGINS.

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 /2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

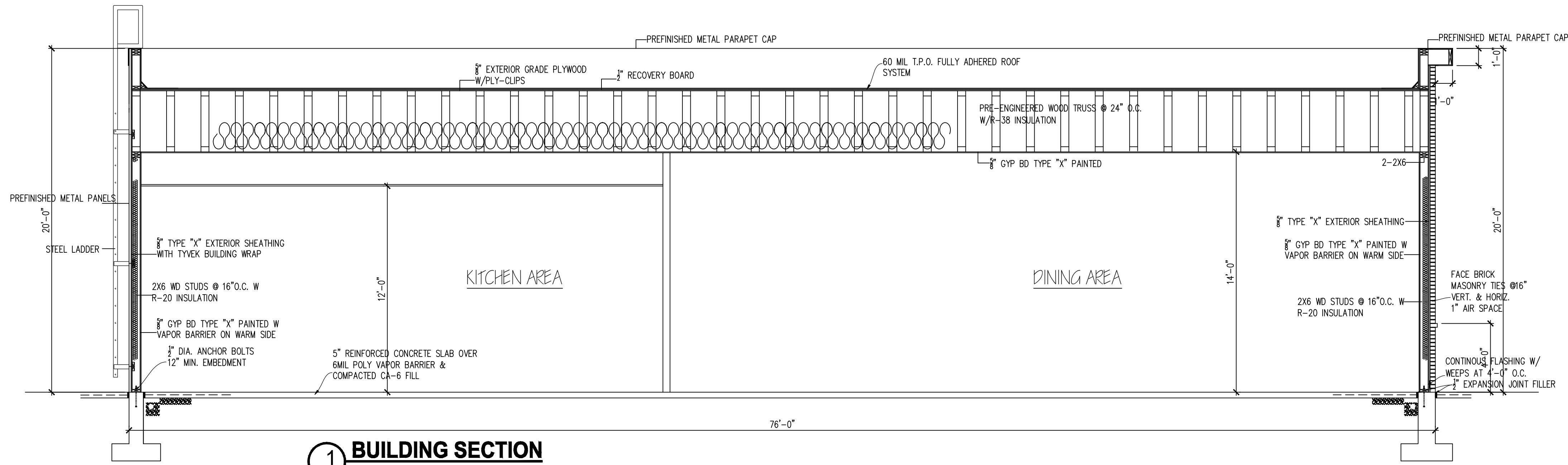
ISSUES	DATE
ISSUED FOR PERMIT	02/08 /2022
REISSUED FOR PERMIT	03/28 /2022



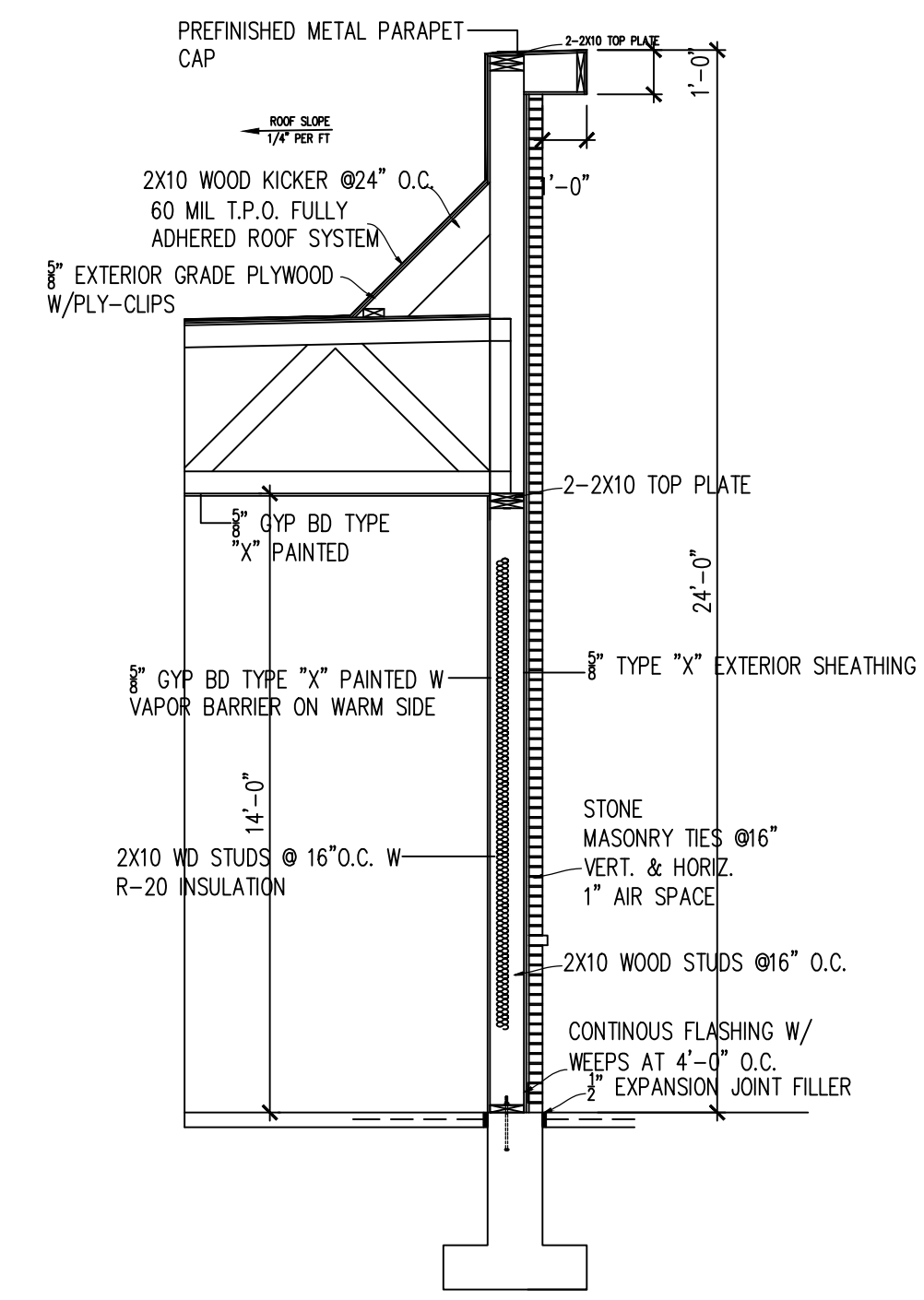
ELEVATIONS

SHEET NUMBER

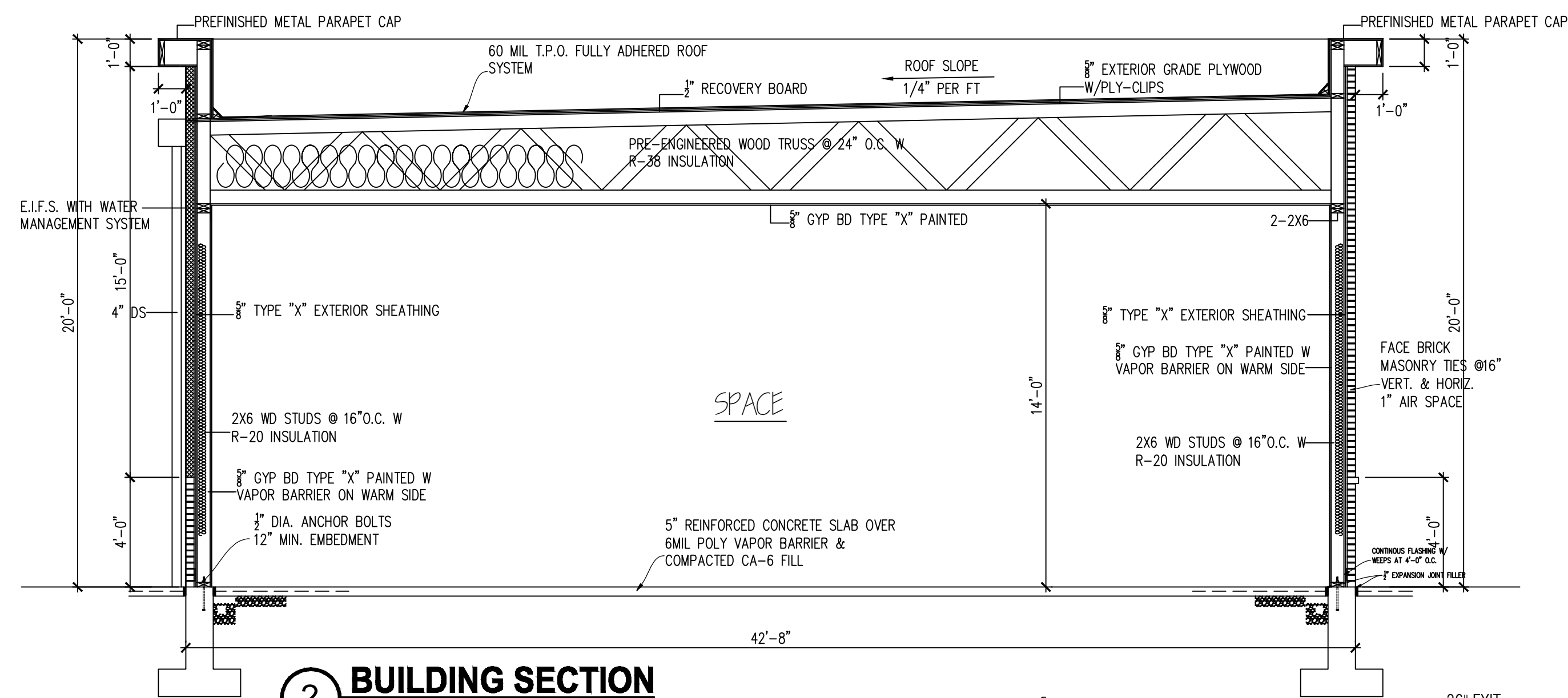
A3



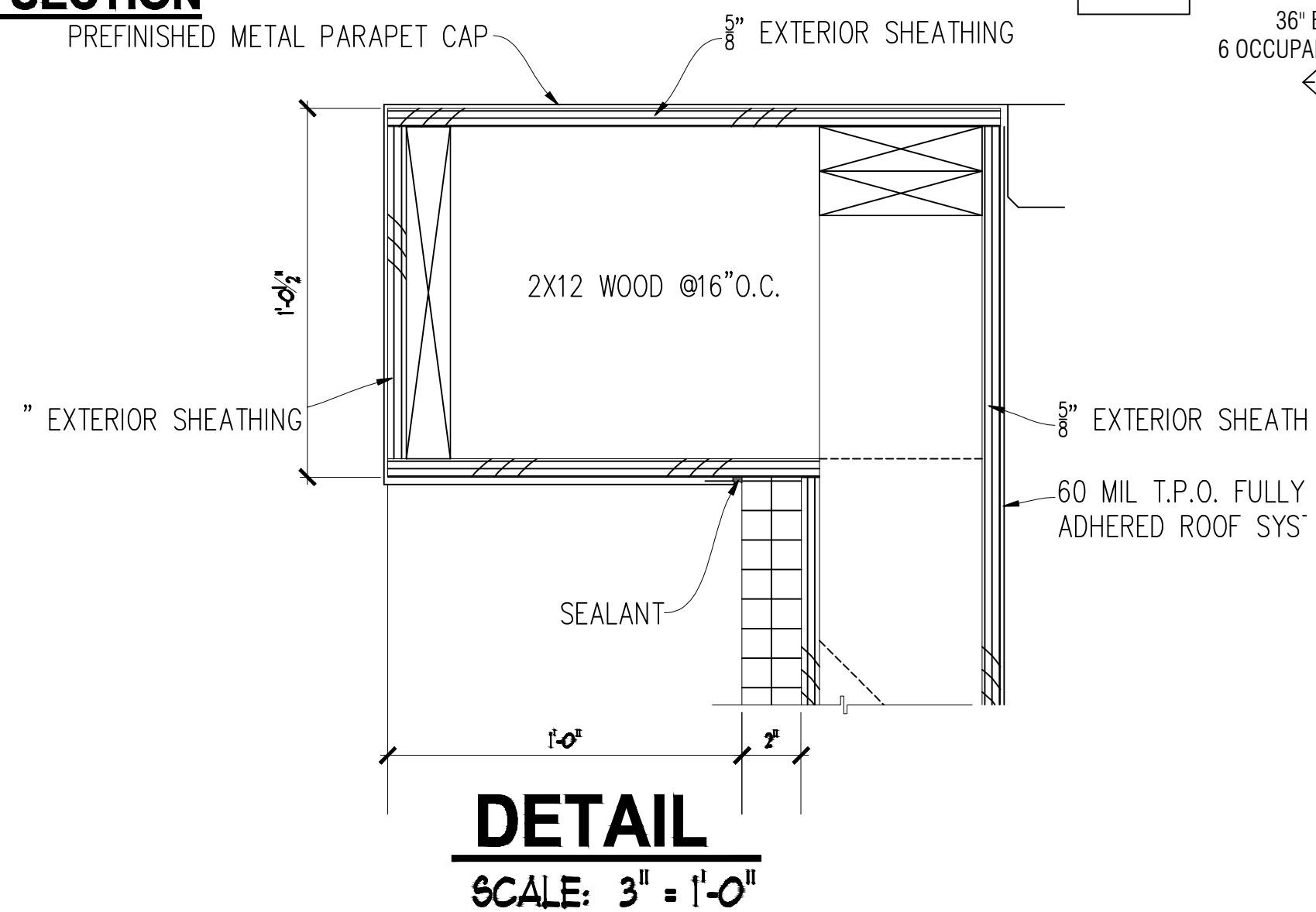
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



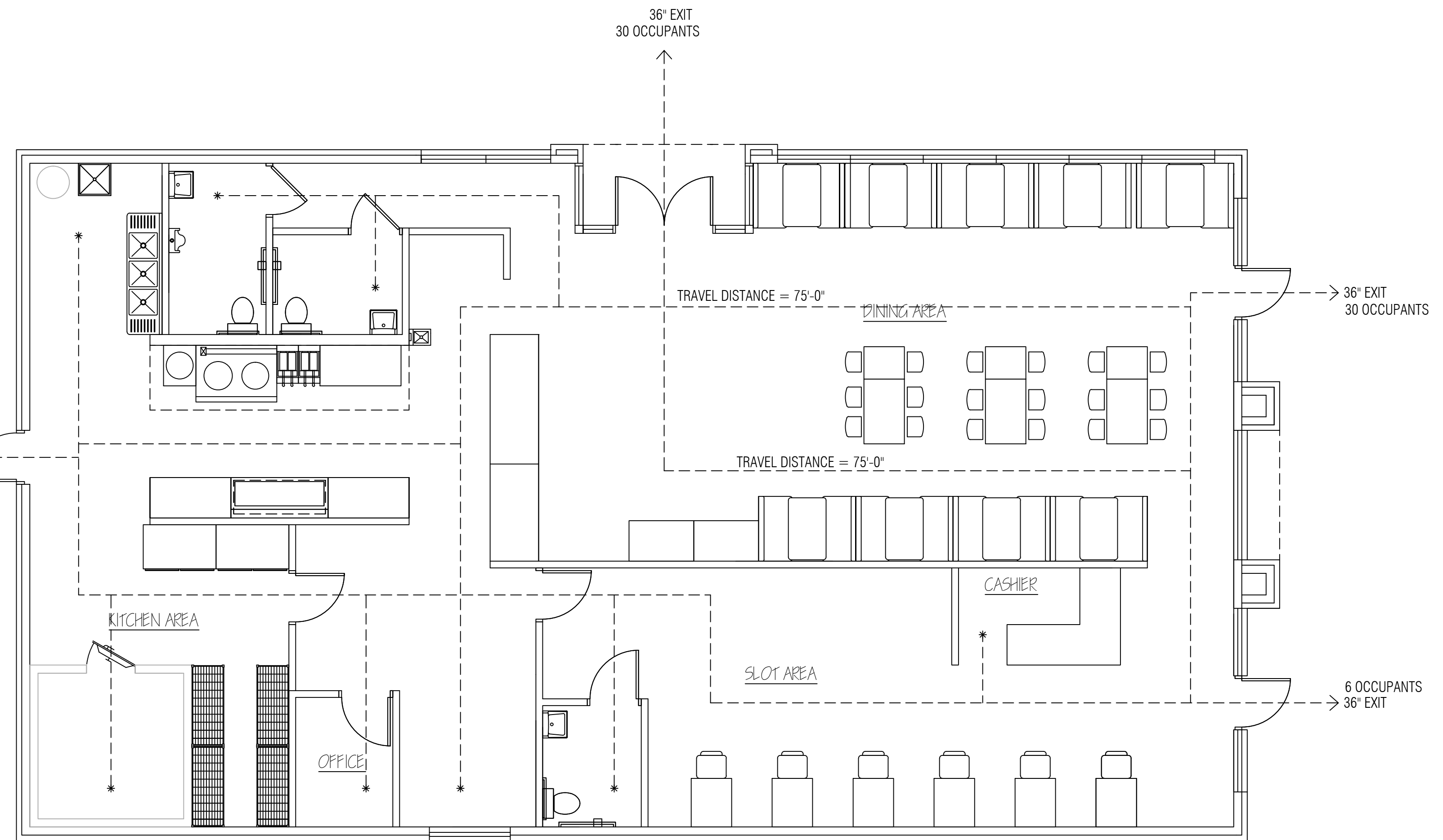
3 WALL SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



DETAIL
SCALE: 3/16" = 1'-0"



EXIT & OCCUPANCY DIAGRAM
SCALE: 3/16" = 1'-0"

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MEP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 / 2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

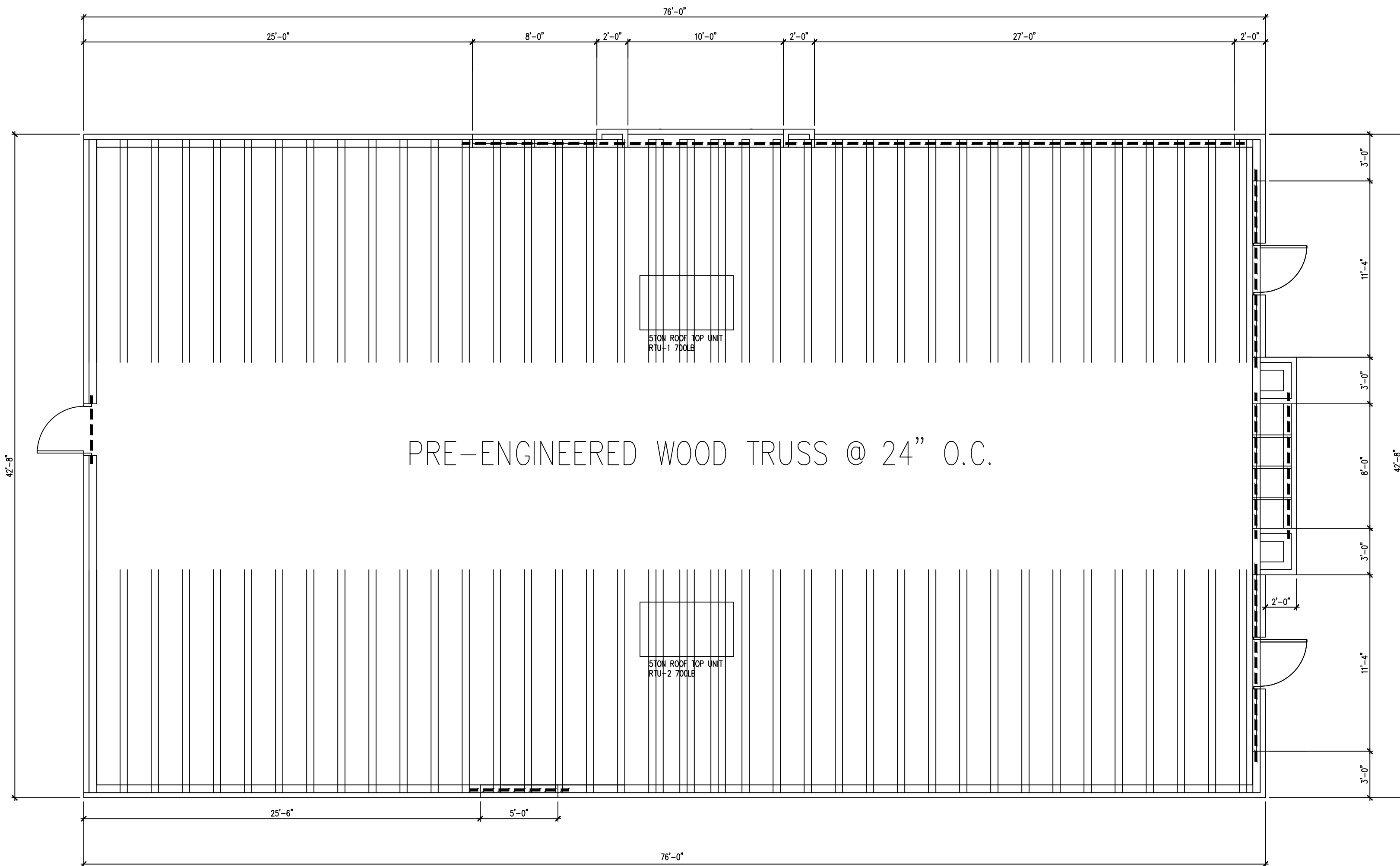
ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



WALL SECTIONS

SHEET NUMBER

A4



A FRAMING PLAN
SCALE 3/16" = 1'-0"

KITCHEN EQUIPMENT NOTES

CONTRACTOR SHALL INSTALL AND CONNECT ALL EQUIPMENT AS PER EQUIPMENT SUPPLIER'S SPECIFICATIONS. ALL LOCATIONS TO BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.

PLUMBING CONTRACTOR SHALL PROVIDE ALL ROUGH-INS. INSULATE ALL COLD/HOT WATER PIPES AS REQUIRED. MAINTAIN MIN 36" IN FRONT OF ALL COOKING EQUIPMENT.

ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL OUTLETS FOR EQUIPMENT. VERIFY ALL ELECTRICAL REQUIREMENTS WITH EQUIPMENT SUPPLIER. VERIFY ALL GAS AND WATER REQUIREMENTS WITH EQUIPMENT SUPPLIER.

ALL PERMANENT EQUIPMENT MUST BE LOCATED SO THAT AREAS BEHIND, UNDERNEATH, AND ON THE SIDES OF THE EQUIPMENT CAN BE EASILY CLEANED.

TWO DRAIN BOARDS ARE REQUIRED AT ALL THREE-COMPARTMENT SINKS ALONG WITH AN APPROPRIATELY SIZED FAUCET, LOCKABLE DRAIN PLUGS, AND AN INDIRECT CONNECTION TO THE SEWER.

DRY STORAGE

DRY STORAGE : 25% OF 1000 SF (KITCHEN AREA.) = 250SF REQ'D
ACTUAL DRY STORAGE: 4X5X2X7 = 280SF PROVIDED.

ALL FOOD AND FOOD RELATED ITEMS MUST BE STORED OFF THE FLOOR ON DURABLE WASHABLE SHELVES. THE STORAGE AREA MUST BE APPROPRIATELY SIZED BASED ON THE NUMBER OF MEALS SERVED DAILY AND THE NUMBER OF DELIVERIES WEEKLY.

ALL FOOD EQUIPMENT TO BE ON CASTERS, 6" LEGS, OR SEALED TO THE FLOOR FOR EASY CLEANING.

NO RAW WOOD SURFACES PERMITTED ANYWHERE. UNDERSIDES OF COUNTERTOPS, INSIDE OF CABINETS, AND WATER HEATER PLATFORMS MUST BE SEALED.

COOKLINE EQUIPMENT AND REACH-IN REFRIGERATION AND FREEZER UNITS TO BE INSTALLED ON CASTERS. PROVIDE THE FOLLOWING: NSF STAINLESS STEEL SHELF OVER 3-COMPARTMENT SINK. HEAVY-DUTY MOP RACKS LOCATED OVER MOP SINK. HEAVY-DUTY BROOM RACKS IN JANITORIAL AREA. METAL GARBAGE CANS WITH LIDS FOR RESTROOMS. SANITARY BOX IN RESTROOM.

ALL NSF APPROVED HAND SINKS TO BE WITH BLADE HANDLED FAUCETS. BEVERAGE STATION & COUNTER TOP - STAINLESS STEEL. ALL CABINET SHELVES - STAINLESS STEEL. ALL CABINET BASE - 6" STAINLESS STEEL LEGS (NO KICK BASE) LAVATORY COUNTERTOP TO BE SOLID SURFACE (NO PLASTIC LAMINATE OR CABINETRY)

ANY PAINTED FINISHES TO BE SEMI-GLOSS OR GLOSS (NO FLAT, NO EGG SHELL, NO TEXTURE). PROVIDE FRP ON WALL AND UNDERSIDE OF SERVICE AREA. STAINLESS STEEL WALL FINISH FOR BEHIND AND ADJACENT TO COOK LINE.

FIRE EXTINGUISHERS TO BE TYPE K IN KITCHEN AND TYPE A IN DINING ROOM

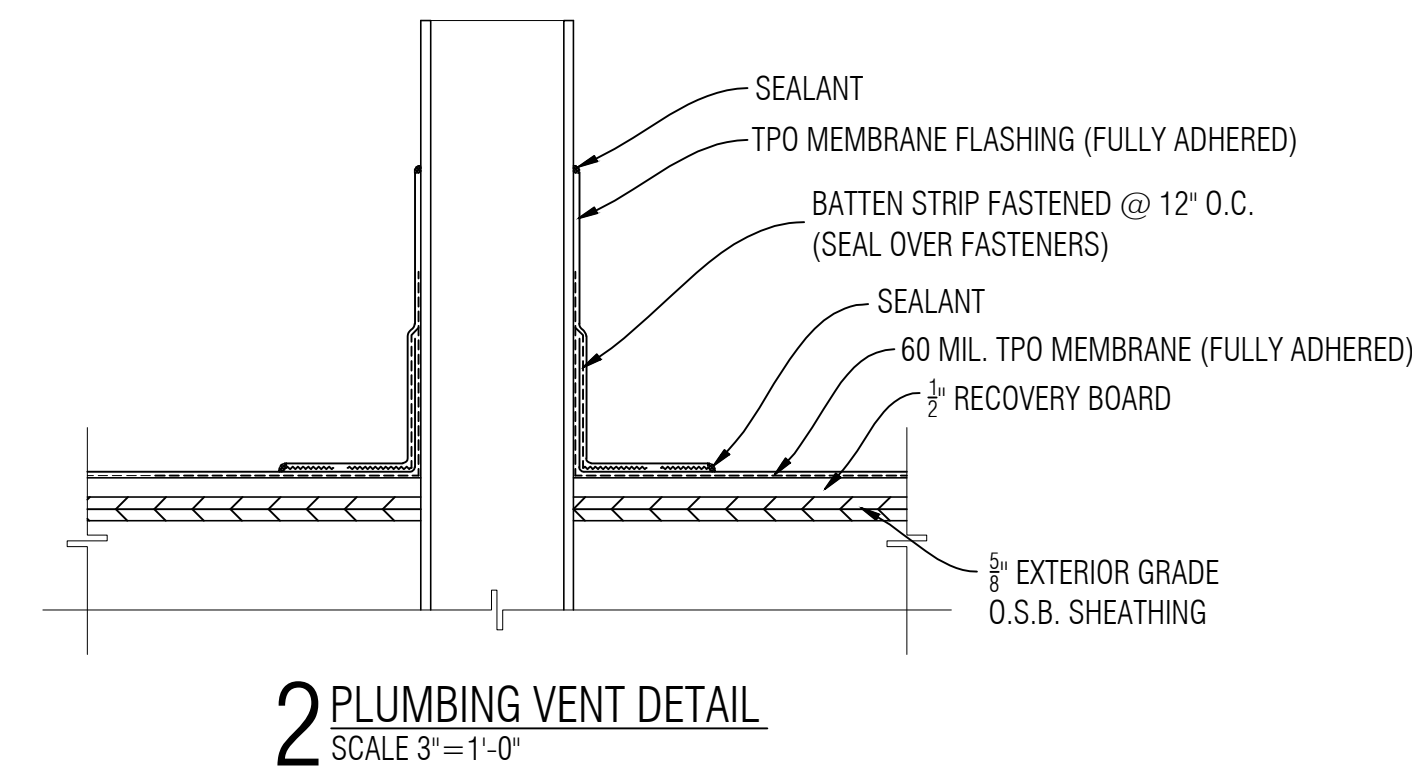
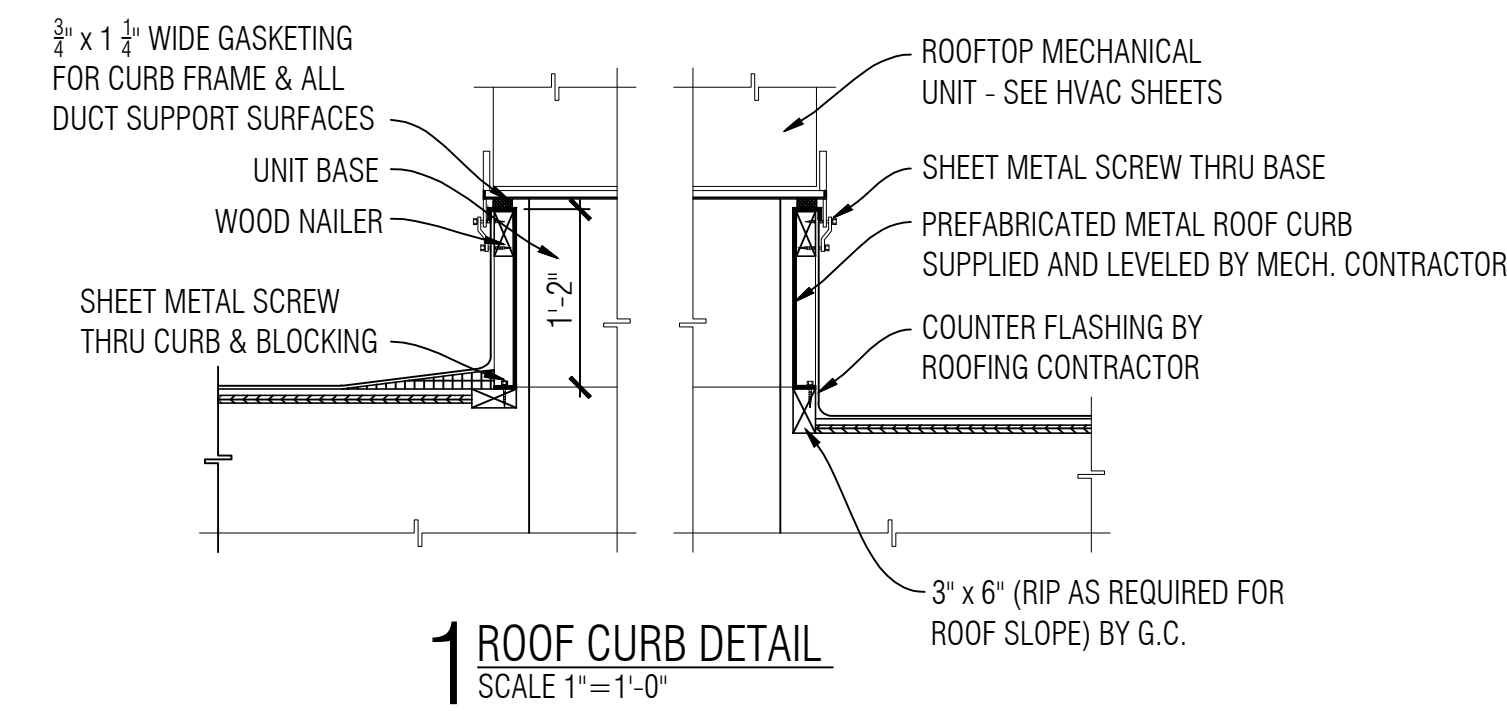
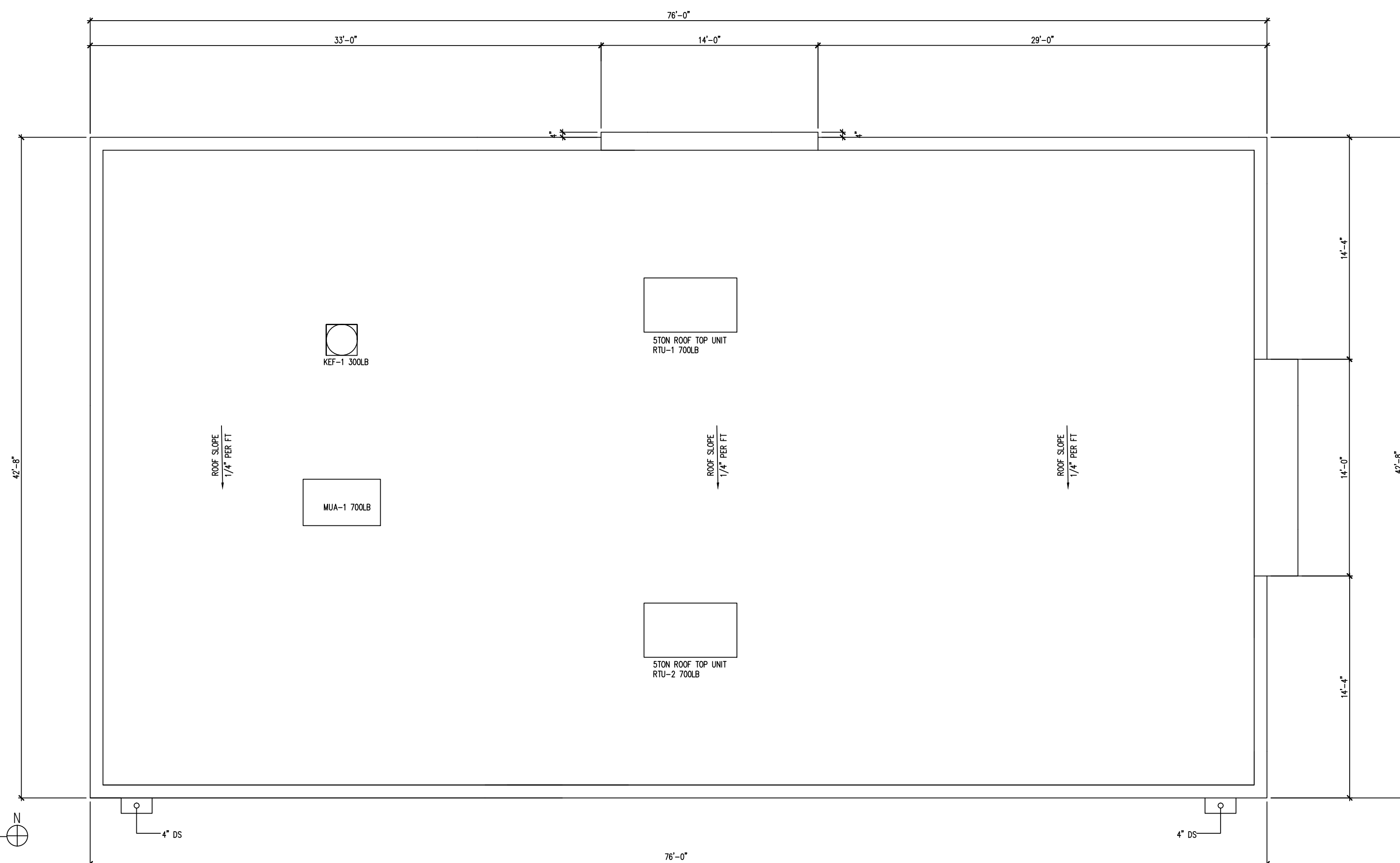
FRP OR STAINLESS STEEL PANEL FOR KITCHEN WALL. KITCHEN CEILING FINISH TO BE PVC VINYL WASHABLE TILES.

- Dial stem thermometers (ranging from 0° to 220°F) are required in all preparation areas.
- Chemical test kits (specific to the sanitizer) are required for the appropriate sanitizer.
- pH meter and log for acidifying rice.
- All cooling/freezing units must have accurate thermometers.
- Covered waste cans are required in all restrooms.
- Toilets, urinals, hand sinks, 3 compartment sinks, mop sink, prep sinks, and permanent counters/cabinets must be sealed to floors and walls with a silicone caulk seal.
- Anti-siphon devices are required on all toilet tanks, urinals, and faucets with hose connections.
- Soap and paper towels are required at all hand sinks.
- Provide hair restraints and disposable gloves for all food handlers.

If sinks are provided with spring-loaded faucets, the faucets must remain running for a minimum of 15 seconds

Doors leading to the outside and restroom doors are required to be self-closing and tight-fitting. Please confirm that the doors leading to the outside are equipped with a self-closer and weather strips to eliminate any air gaps.

B ROOF PLAN
SCALE 3/16" = 1'-0"



WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616

PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com

LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616

PHONE: (312)720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 /2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

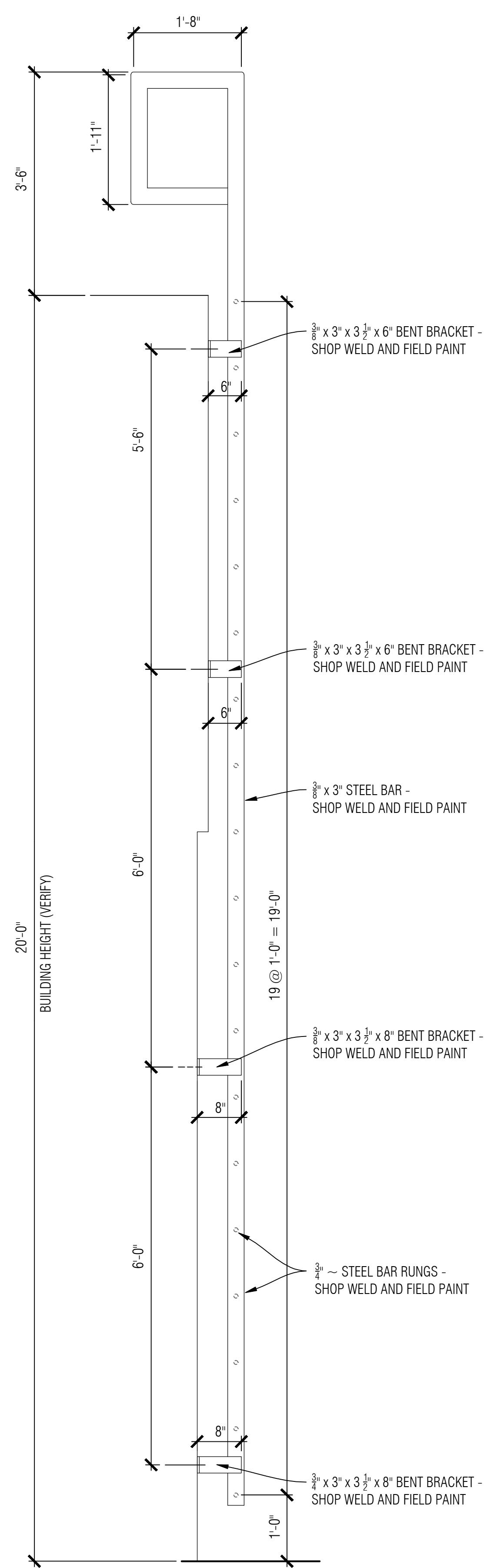
ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



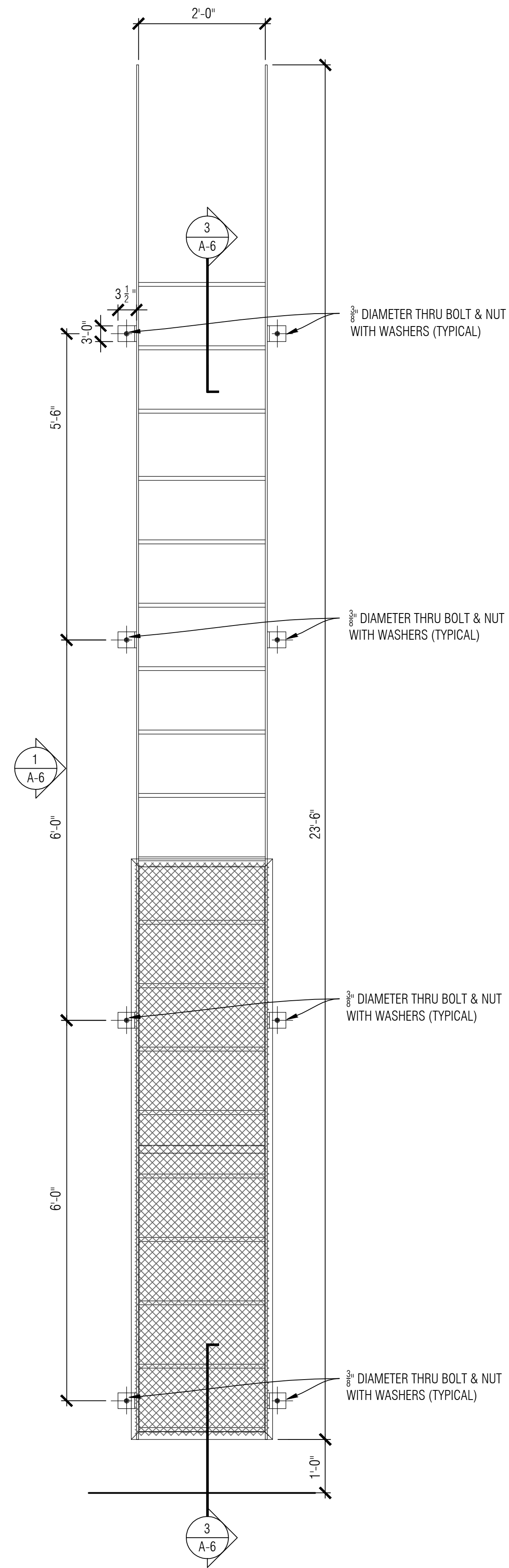
FRAMING PLAN & ROOF PLAN

SHEET NUMBER

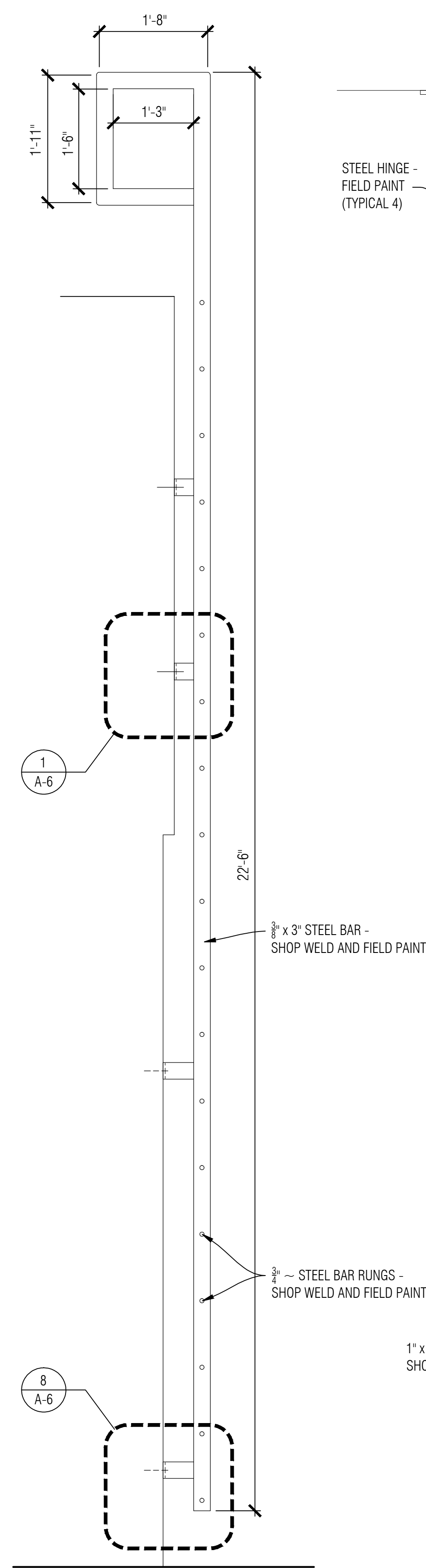
A5



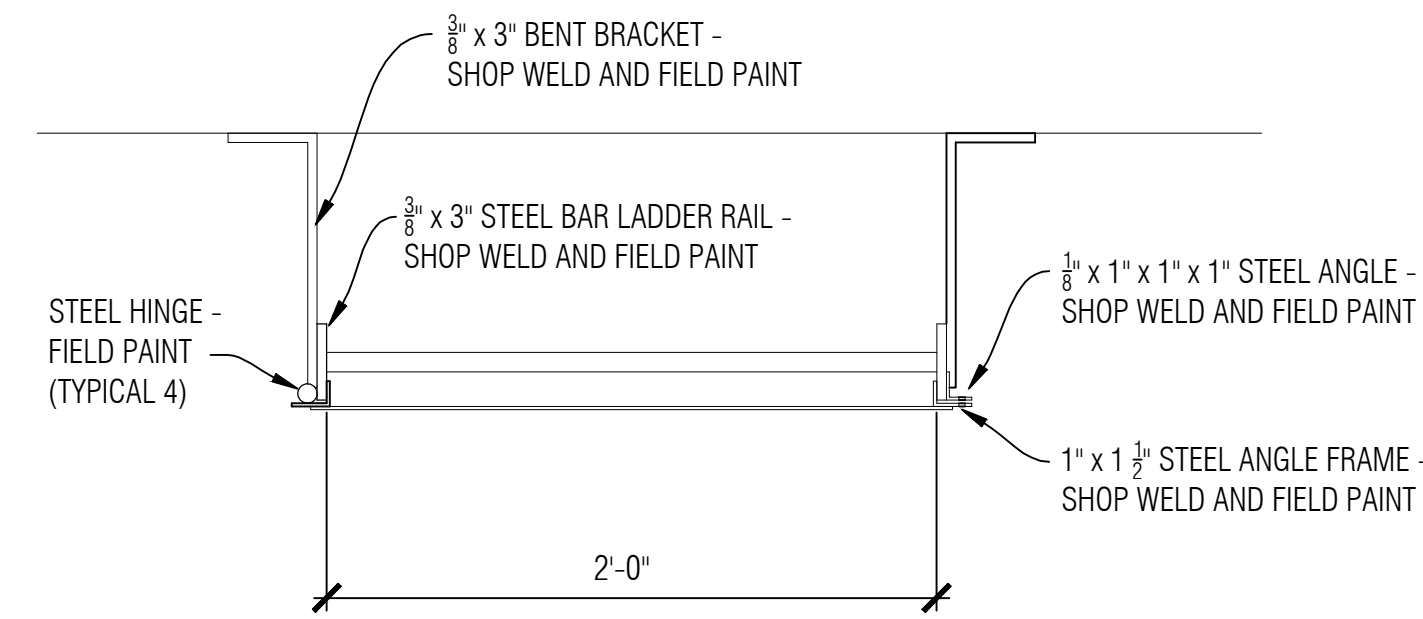
1 LADDER SIDE ELEVATION
SCALE 3/4"=1'-0"



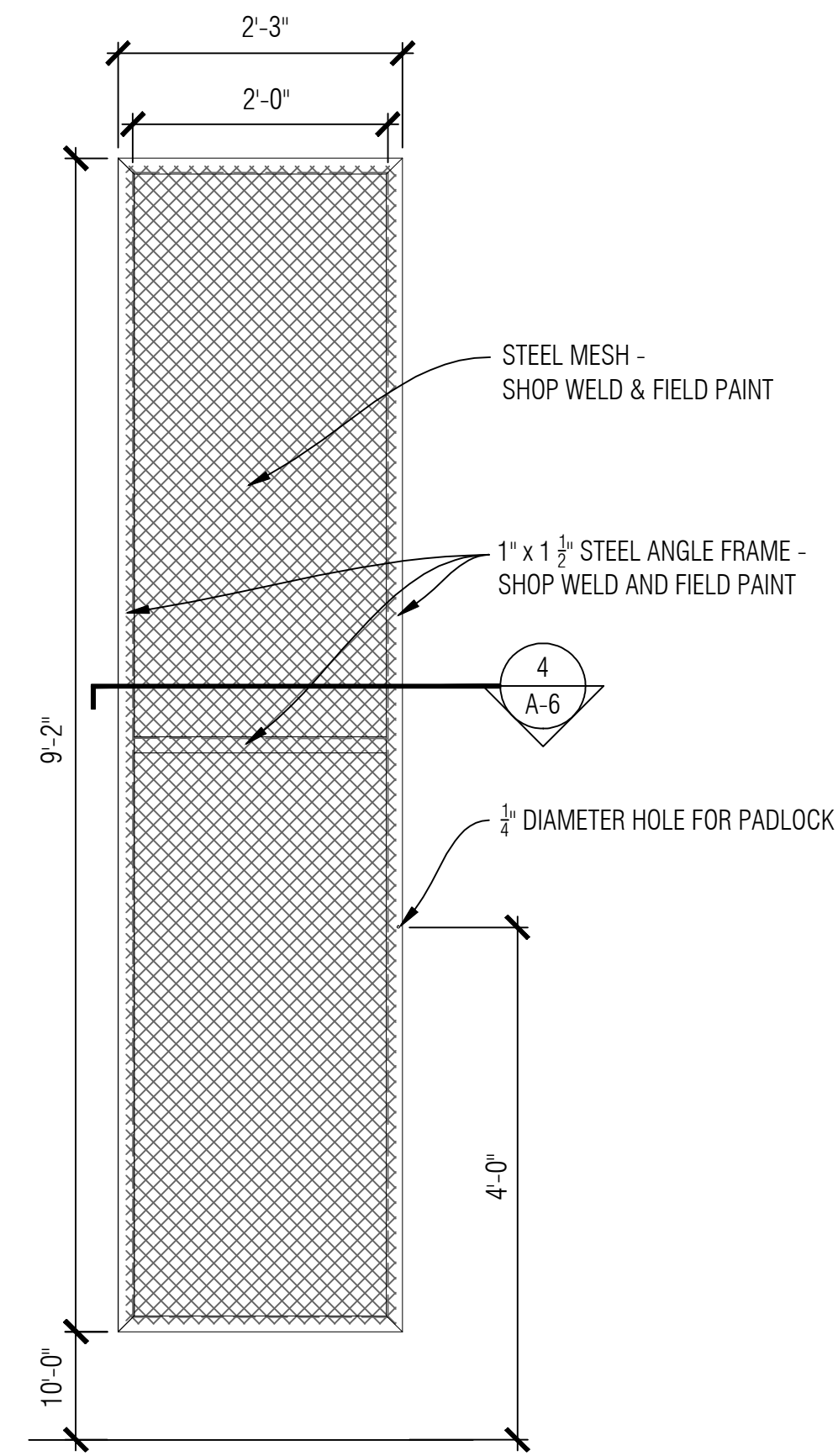
2 LADDER FRONT ELEVATION
SCALE 3/4"=1'-0"



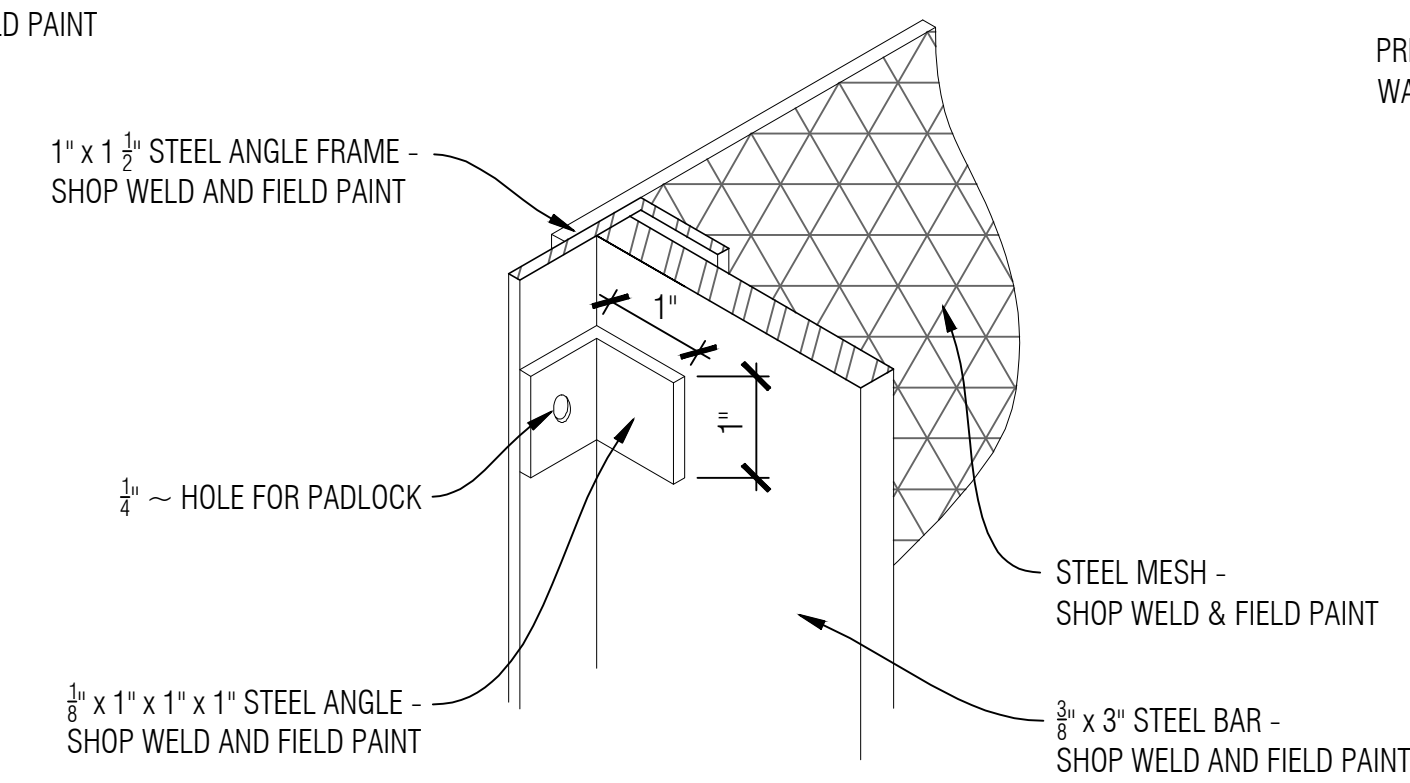
3 LADDER SECTION
SCALE 1/2"=1'-0"



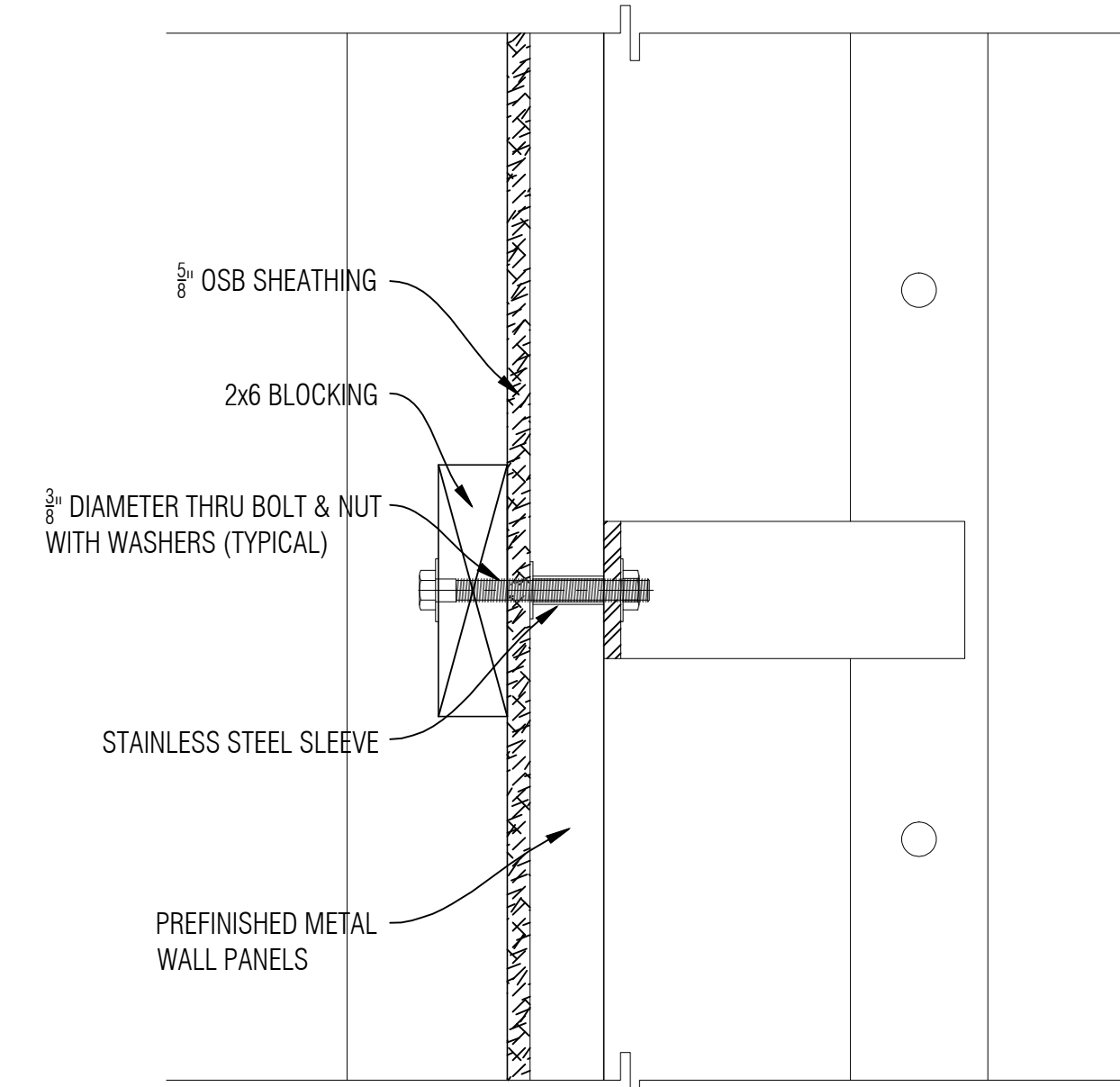
4 CAGE SECTION
SCALE 1-1/2"=1'-0"



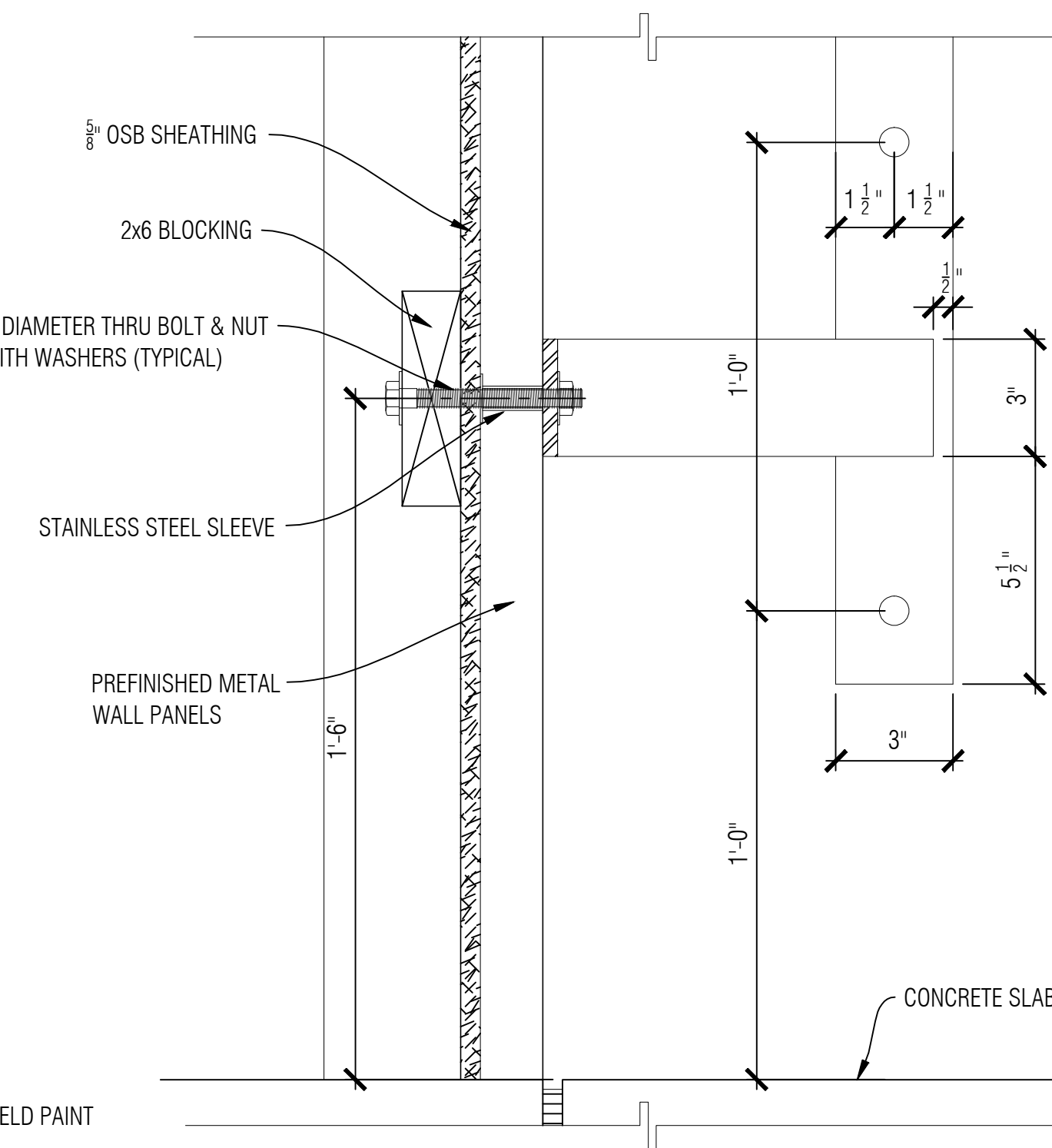
5 CAGE ELEVATION
SCALE 1/2"=1'-0"



6 LATCH DETAIL
SCALE 6"=1'-0"



7 CAGE ELEVATION
SCALE 1/2"=1'-0"



8 CAGE ELEVATION
SCALE 3"=1'-0"

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MEP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 /2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

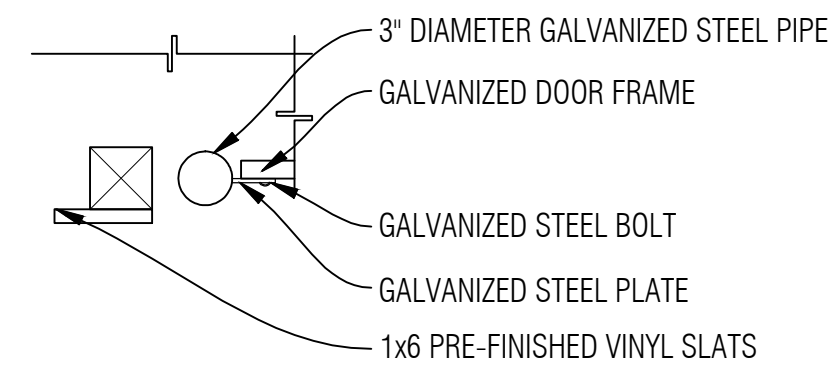
ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



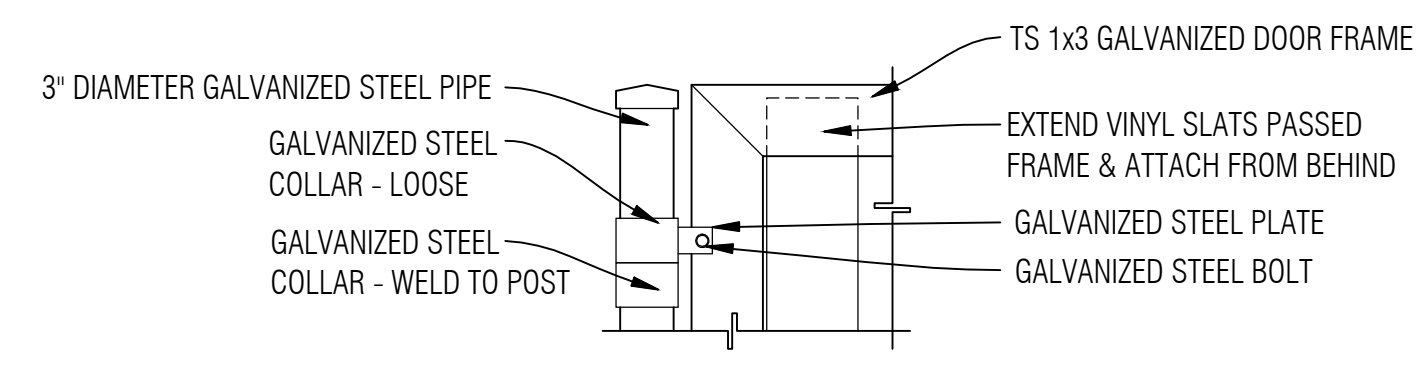
LADDER DETAILS

SHEET NUMBER

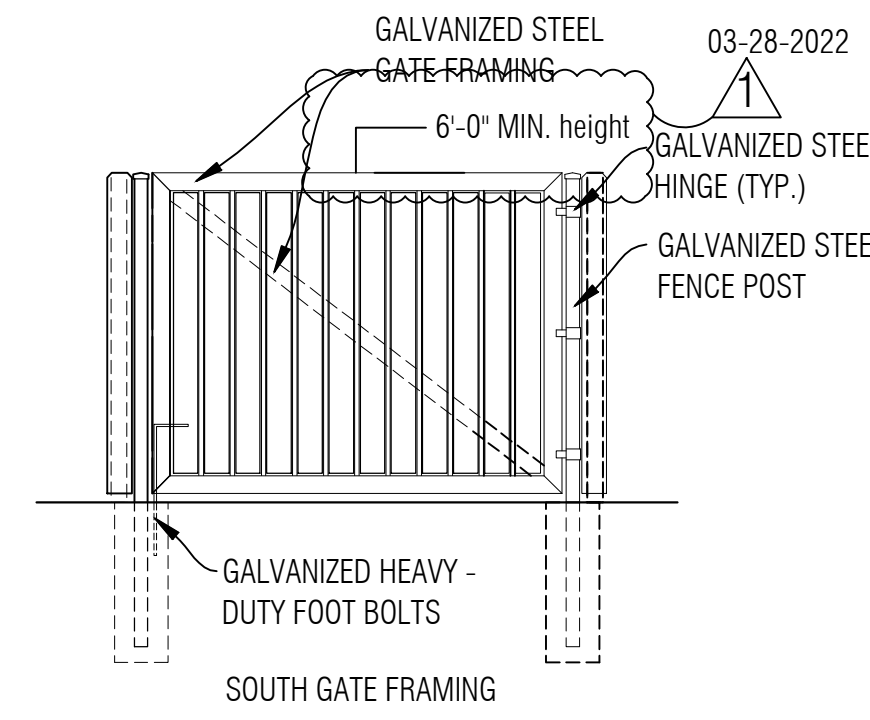
A6



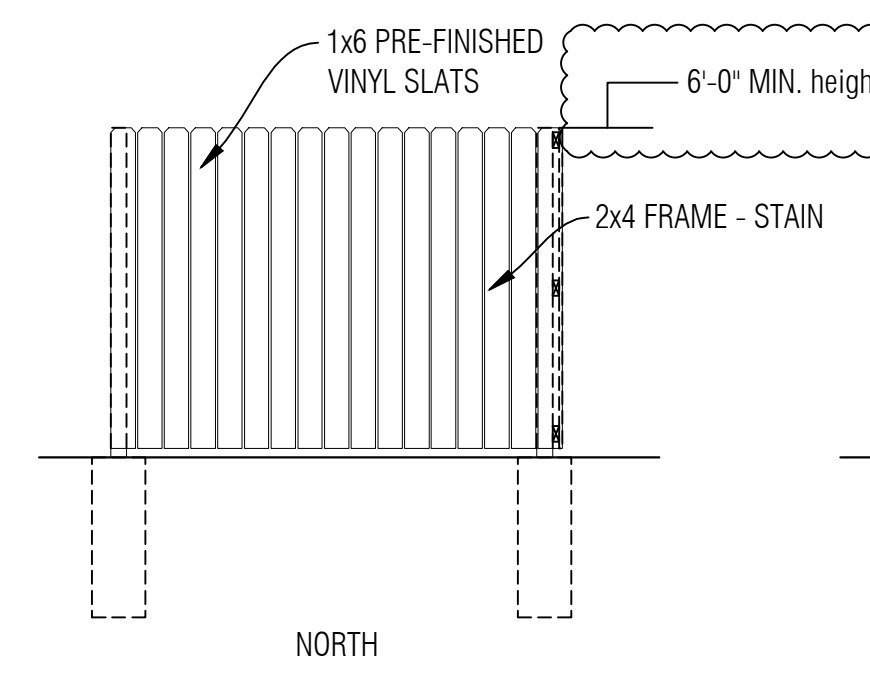
DUMPSTER DETAIL
SCALE 1/4"=1'-0"



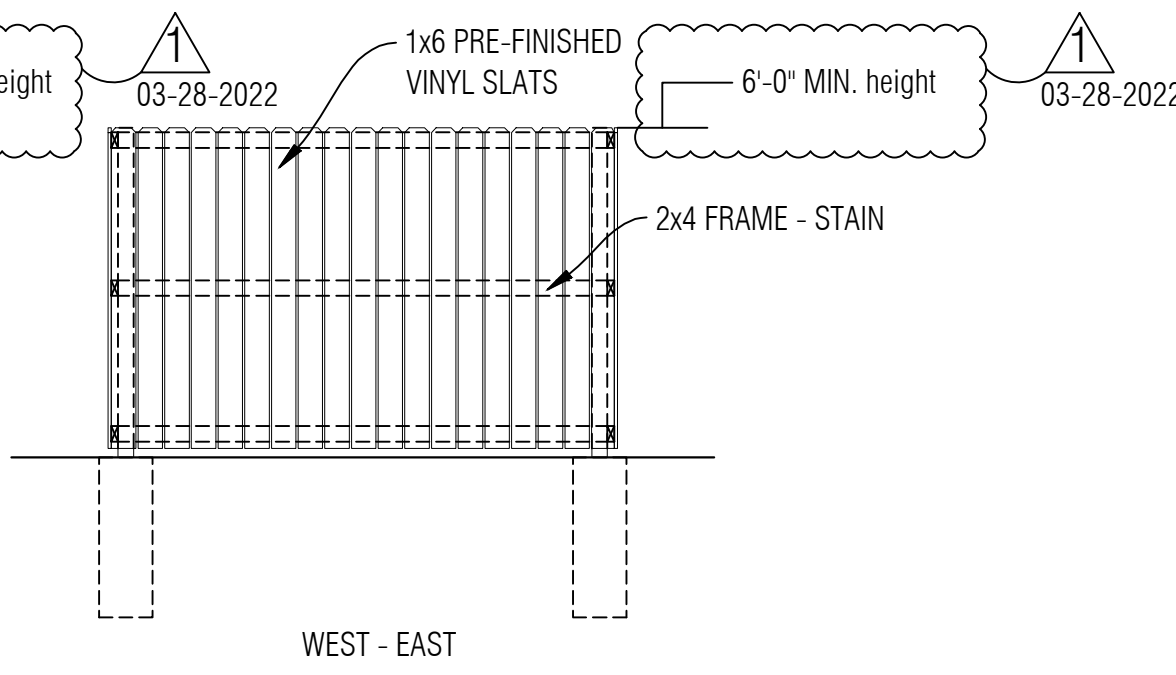
DUMPSTER DETAIL
SCALE 1/4"=1'-0"



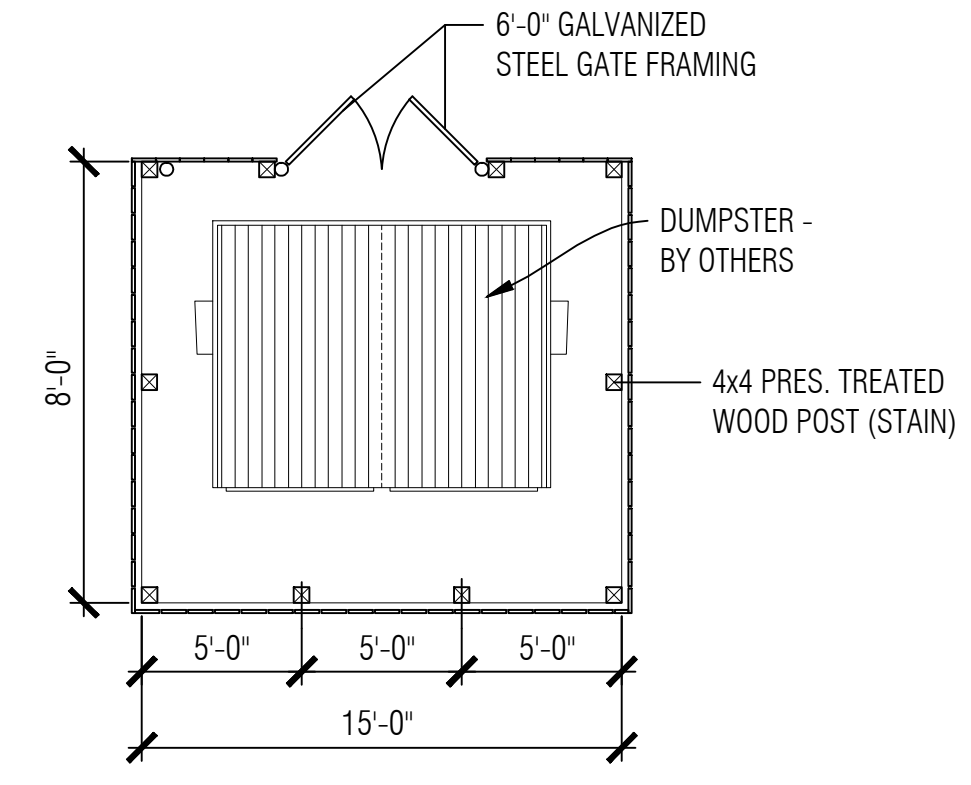
4 DUMPSTER ELEVATIONS
SCALE 1/4"=1'-0"



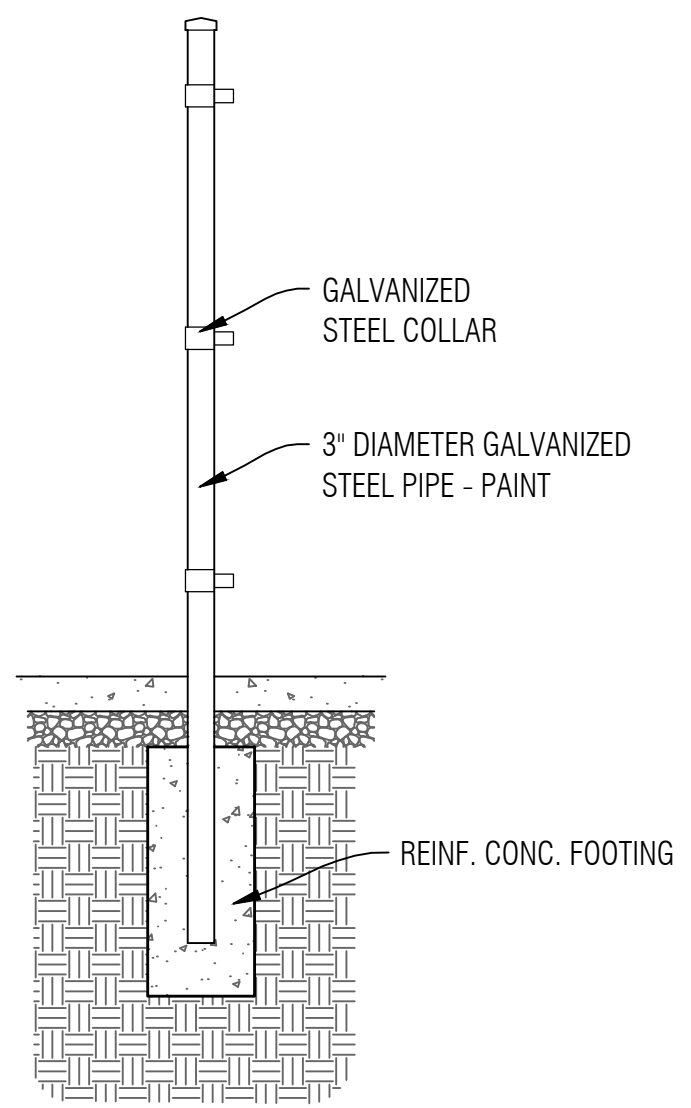
NORTH



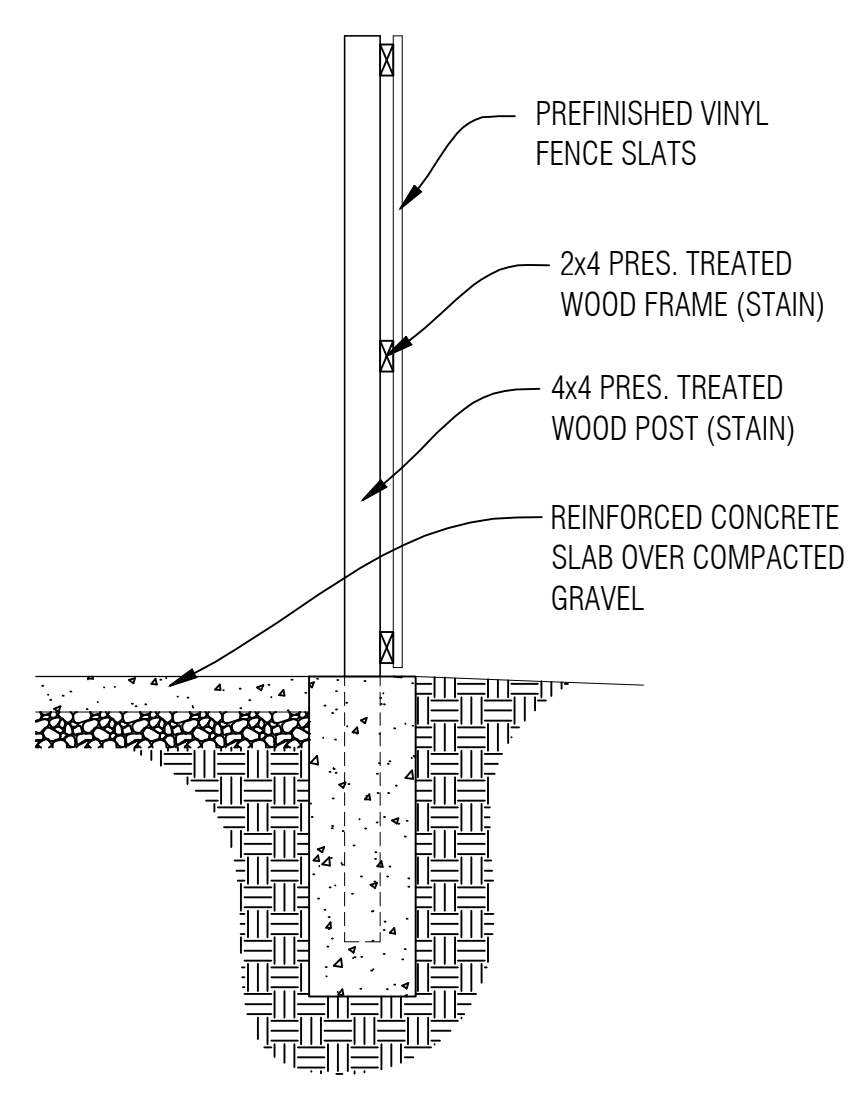
WEST - EAST



1 DUMPSTER PLAN
SCALE 1/4"=1'-0"



2 STEEL POLE DETAIL
SCALE 1/2"=1'-0"

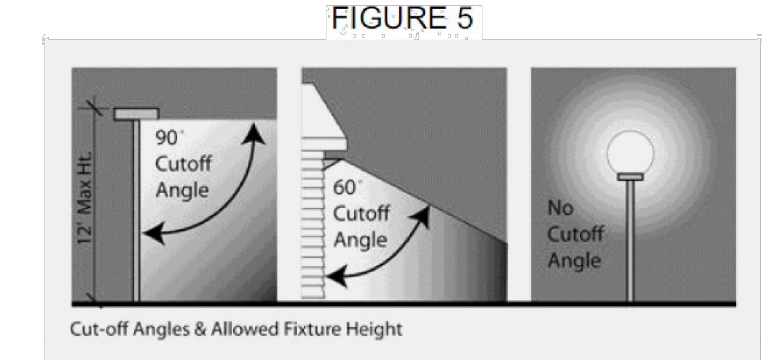


3 WOOD POST DETAIL
SCALE 1/2"=1'-0"

03-28-2022

10-8-10: COMMERCIAL OUTDOOR LIGHTING REGULATIONS:
The following commercial lighting regulations apply to all multi-family residential (3 or more dwelling units), mixed use, commercial and industrial properties:

A. All exterior lighting shall be provided by full cutoff fixtures that by design have a cutoff angle of not more than ninety degrees (90°), properly installed to maintain the full cutoff angle of ninety degrees (90°). Fixtures which are shielded by a structural element to meet the intent of a full cutoff fixture shall be considered to be in compliance.



B. Exterior lighting fixtures (except as allowed for parking and security below) will be mounted no higher than twelve feet (12') above the flooring, deck, walkway, or other occupied area, or the highest grade point of the ground surface immediately adjacent to the light fixture. The height of the fixture shall be the vertical distance from the surface directly below the centerline of the fixture to the lowest direct light emitting part of the fixture.

C. Ornamental lighting shall be allowed provided there is no light trespass. (Ord. 398, 9-18-2012)

10-8-11: STREET, PARKING AND SECURITY LIGHTING:
The requirements for street, parking and security lighting set forth in this section, except where specifically exempted, apply to all zoning districts within the town.

A. All street, parking and security lights shall have no light emitted above ninety degrees (90°) cutoff angle. Fixtures which are shielded by a structural element to meet the intent of a full cutoff fixture shall be considered to be in compliance.

B. Lighting fixtures shall be mounted no higher than twenty five feet (25') above a parking or street surface.

C. Gas station canopies shall, in addition to the other provisions of this chapter, limit luminance under the canopy and driveways to a maximum of twenty (20) foot-candles. (Ord. 398, 9-18-2012)

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616

PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com

LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616

PHONE: (312)720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 /2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

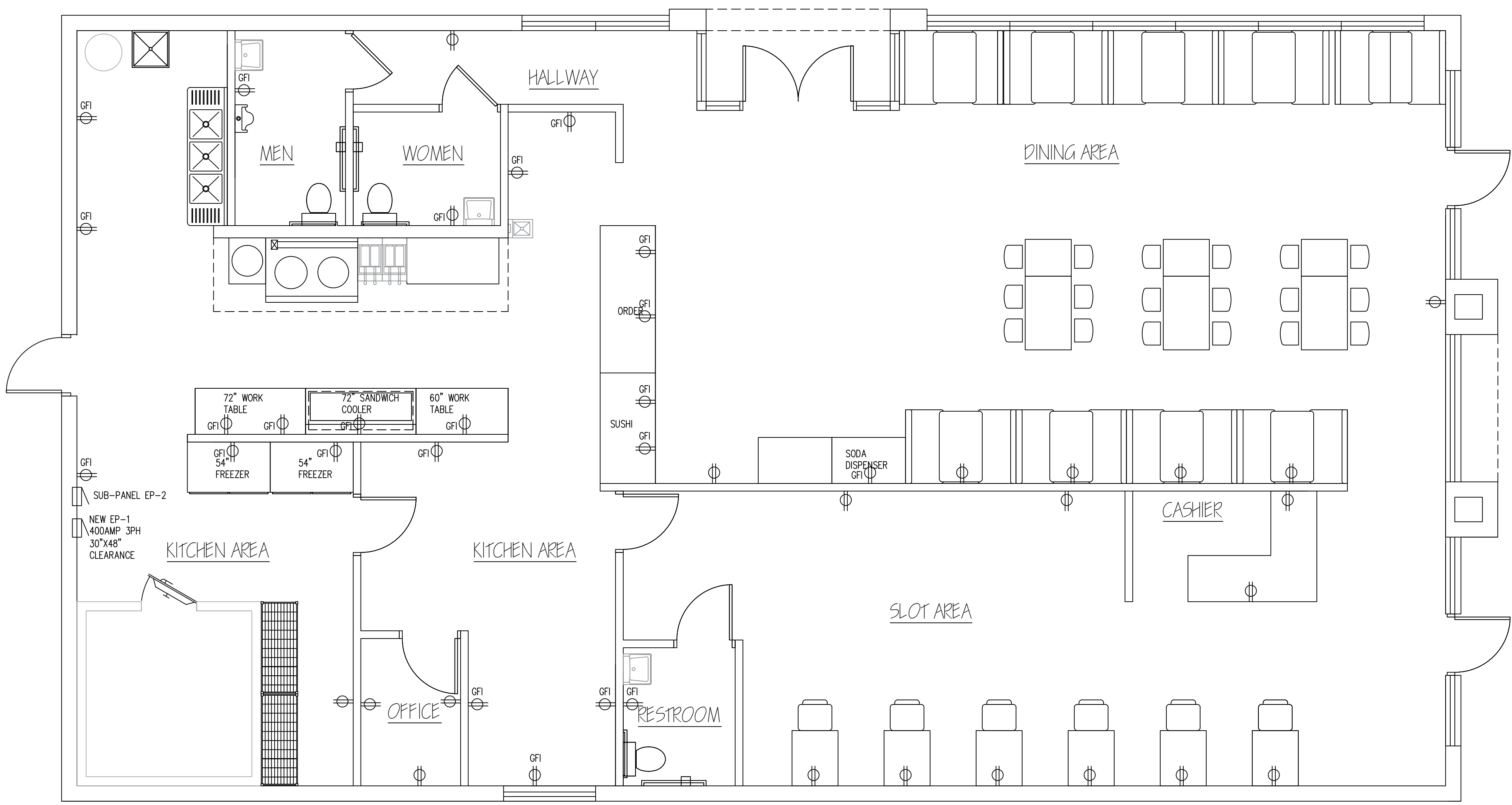
ISSUES	DATE
ISSUED FOR PERMIT	02/08 /2022
REISSUED FOR PERMIT	03/28 /2022



DUMPSTER
DETAILS

SHEET NUMBER

A7



GENERAL ELEC NOTES:

1. ROMAX, BX, SE CABLE, ENT AND PLASTIC BOXES ARE PROHIBITED.
2. ALL OUTLET BOXES TO BE PIPED.
3. MAXIMUM HEIGHT FOR PANELS SHALL BE 6'-0" TO TOP OF THE BOX.
4. ALL RECEPTACLES SHALL BE A MINIMUM 20A WITH NO MORE THAN 10 PER CIRCUIT.
5. F/A SHALL BE IN CONDUIT, LOW VOLTAGE WIRING SHALL BE IN BRIDGE RINGS AND A MAXIMUM 10' APART AND IN CONDUIT DOWN WALLS WITH CONNECTORS AND BUSHING WHERE SUBJECT TO DAMAGE OR NOT ACCESSIBLE.
6. ALL SERVICE CONDUITS TO HAVE GROUND BUSHING.
7. A PERMANENT LABEL WITH CONTRACTOR NAME AND PHONE NUMBER SHALL BE DISPLAYED ON SWITCHBOARD.
8. 3/8" GREENFIELD SHALL NOT BE USED FOR RECEPTACLES.
9. FLEXIBLE CONDUIT SHALL NOT BE EXCEED 6' IN LENGTH.
10. ALL EMERGENCY LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH NEC 700.12(F). EMERGENCY LIGHTING SHALL NOT BE SERVED BY DEDICATED CIRCUITS.

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitec98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MEP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312)720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11/30/2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

A POWER PLAN
SCALE 1/4"=1'-0"

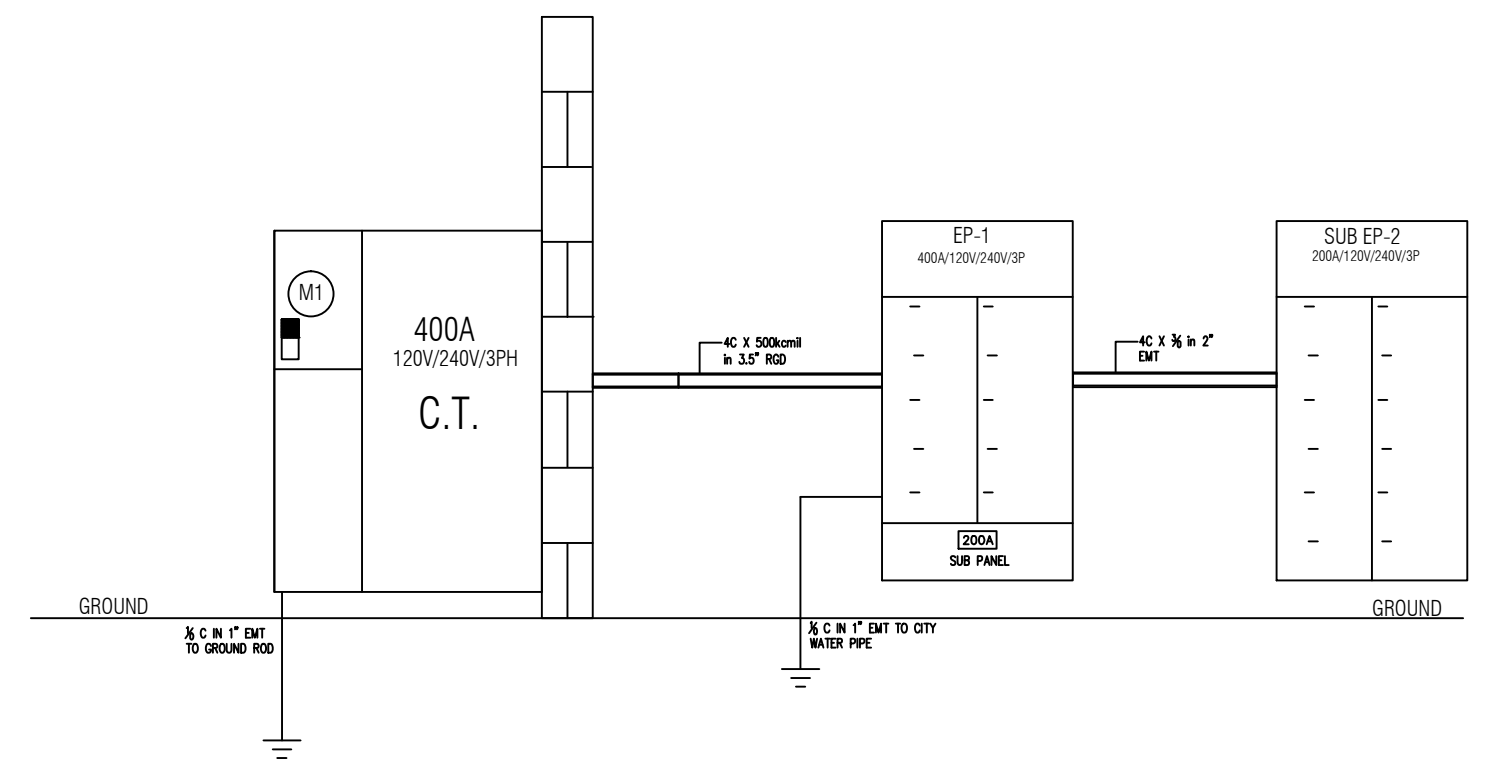
- LEGEND:**
- ☐ RETURN AIR
 - ☐ RECESSED 2'X2' LIGHT FIXTURE
 - LIGHT FIXTURE
 - ☐ RECESSED 2'X4' LIGHT FIXTURE
 - ☐ EMERGENCY LIGHTING
 - ⊗ EXIT SIGN
 - ⊗ SMOKE DETECTOR

EMERGENCY LIGHT FIXTURE SCHEDULE				
MANUFACTURER	MODEL	LAMP	DESCRIPTION	
SURE-LITES	XR-9-C	(2)HALOGEN 12W	PPROVED BATTERY EM FIXTURE	
ALPHA	EM-C SERIES SINGLE FACE	(2)7W FLUORESCENT	APPROVED SINGLE FACE EXIT SIGN BATTERY BACKUP 120V FIXTURE	

FIRE PREVENTION BUREAU EXIT SIGN SYMBOLS

⊗#3	SINGLE FACE EXIT SIGN W/DIRECTIONAL ARROW	⊗#9	SINGLE FACE EXIT SIGN W/DIRECTIONAL ARROW
⊗#6	SINGLE FACE EXIT SIGN W/DIRECTIONAL ARROW	⊗#12	SINGLE FACE EXIT SIGN W/DIRECTIONAL ARROW

03-28-2022
The electric service has a high leg to ground. - NEC 408.3.



ELECTRICAL SERVICE DIAGRAM

Service Load Calculation Commercial

Address: 2811 NORTH DIRKSEN PKWY SPRINGFIELD IL 62703
Outside Building Dimensions: Length 76' Width 42' Floors 1
Rough Total Area: 3192 SF

Two Sets Electrical Service: 200A Phase 3 Wire 4 Volt 120/240
Ampere/s 400 3/0 2.5"

Service Conductors 14-28-1480 Size Type CU (Al,Cu),Conduit IMC,Rigid

GENERAL LIGHTING LOAD:

Square foot area per floor:	3192
Total square foot area :	3192
Times(3.0 Watts)per square foot	9576
Other loads(receptacles)	
(See section 14-16-180(b)) 5 Times(180 Watts)	900

ADD

(2) AC-1; AC-2 UNITS 230V/1PH/60A	23000
(2) KEF-1 EXHAUST FAN 230V/3PH/30A	8800
(1) MUA-1 230V/3PH/30A	8242
(1) W.I.C. 230V/1PH/45A	10400
TOTAL:	60918 W

TOTAL LOAD: I = W/V=147 AMP

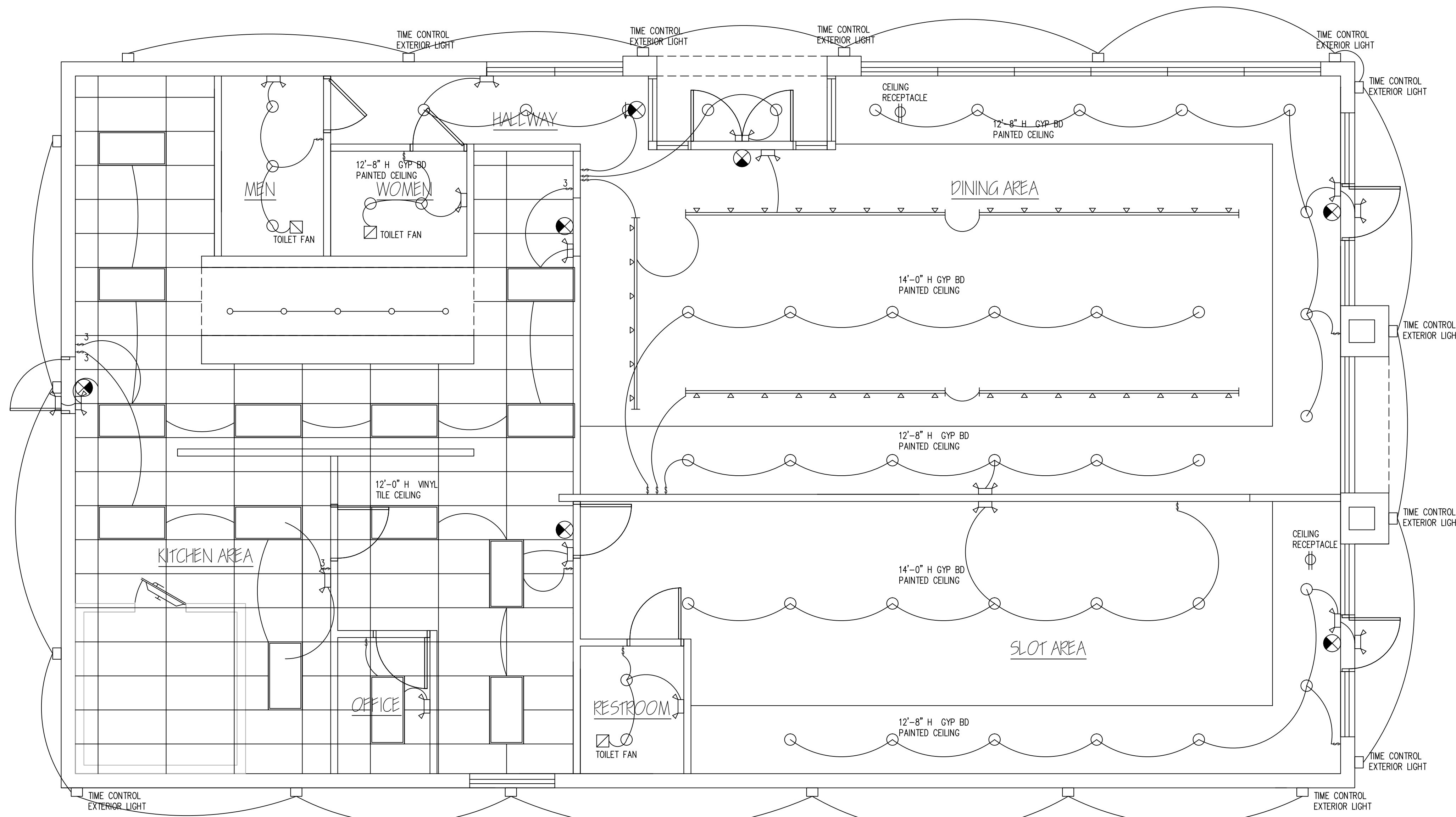
USE 147 AMP MULTIPLY BY 125% FOR CONSIDERATIONS OF CONTINUOUS LOAD IS 184 AMP, SERVICE SIZE TO BE 400 AMP 120/240V 3 PH, 4 WIRE FOR FUTURE

ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



ELECTRICAL POWER PLANS

SHEET NUMBER
E1



A LIGHTING & EMERGENCY PLAN
SCALE 1/4"=1'-0"

the battery powered illumination will be connected to the normal lighting circuit serving the area. – NEC 700.12(F).

NEW 120/240V 400A 3PH ELECTRICAL PANEL EP-1											
SERVES	A	B	C	AMPS	CK	CK	AMPS	A	B	C	SERVES
KITCHEN OUTLETS	1800			20	1	2	30	1800			WALK IN COOLER
KITCHEN REFRIG. PREP TABLE	1800			20	3	4	20	1800			
DINING RM LIGHTS		1000		15	5	6	20		200		WALK IN LIGHT FAN
EXIT LIGHT	200			20	7	8	30	2400			
KITCHEN OUTLETS		1500		20	9	10		2400			KEF-1
SIGN			500	20	11	12			2400		
KITCHEN OUTLETS	1500			20	13	14	20	1200			CASHIER OUTLETS
KITCHEN OUTLETS		1500		20	15	16	20	1200	1200		WASH RM FANS
KITCHEN MUA-1			2400	30	17	18	20		1200		CASHIER OUTLETS
	2400			30	19	20	15	1000			KITCHEN LIGHTS
		2400		30	21	22	20		1200		DINING OUTLETS
KITCHEN OUTLETS		1500		20	23	24	20		1200		DINING OUTLETS
	4000			50	25	26	20	200			WASH ROOM LIGHTS
RTU-1 (5 TON)		4000			27	28	20		1200		ICE MAKE OUTLET
			4000		29	30	20		1200		SOAD MACHINE OUTLET
SUBTOTAL	9900	10300	10300					6600	7800	6200	SUBTOTAL
TOTAL PANEL LOAD	51100	0	123	AMPS				120/240V	THREE PH		

NEW 120/240V 200A 3PH ELECTRICAL SUB PANEL EP-2											
SERVES	A	B	C	AMPS	CK	CK	AMPS	A	B	C	SERVES
OFFICE LIGHT	200			20	1	2	20	1800			GAME MACHINE 1 OUTLET
OFFICE OUTLET		360		20	3	4	20		1800		GAME MACHINE 2 OUTLET
GAME RM LIGHT 1			600	20	5	6	20			1800	GAME MACHINE 3 OUTLET
EXIT LIGHT	180			20	7	8	20	1800			GAME MACHINE 4 OUTLET
WASH RM FAN		600		20	9	10	20		1800		GAME MACHINE 5 OUTLET
SIGN			400	20	11	12	20		1800	1800	GAME MACHINE 6 OUTLET
OUTLET BELOW PANEL	180			20	13	14	20		1800		ATM
CASHIER OUTLETS		1080		20	15	16	20		500		GAME ROOM LIGHT 2
SLOT RM OUTLETS			1080	20	17	18	20		180	180	WASH ROOM OUTLET
SPARE				20	19	20	20		1800		EXTERIOR LIGHT
SPARE				20	21	22	20		1800		EXTERIOR LIGHT
SPARE				20	23	24					
RTU-1 (5 TON)	4000			50	25	26					
		4000			27	28					
			4000		29	30					
SUBTOTAL	4560	6040	6080					7200	5900	3780	SUBTOTAL
TOTAL PANEL LOAD	33860	0	81	AMPS				120/240V	THREE PH		

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MEP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11/30/2023

DIRKSEN REALTY LLC
BUILD A NEW ONE STORY
COMMERCIAL BUILDING
2811 NORTH DIRKSEN PKWY
SPRINGFIELD IL 62703

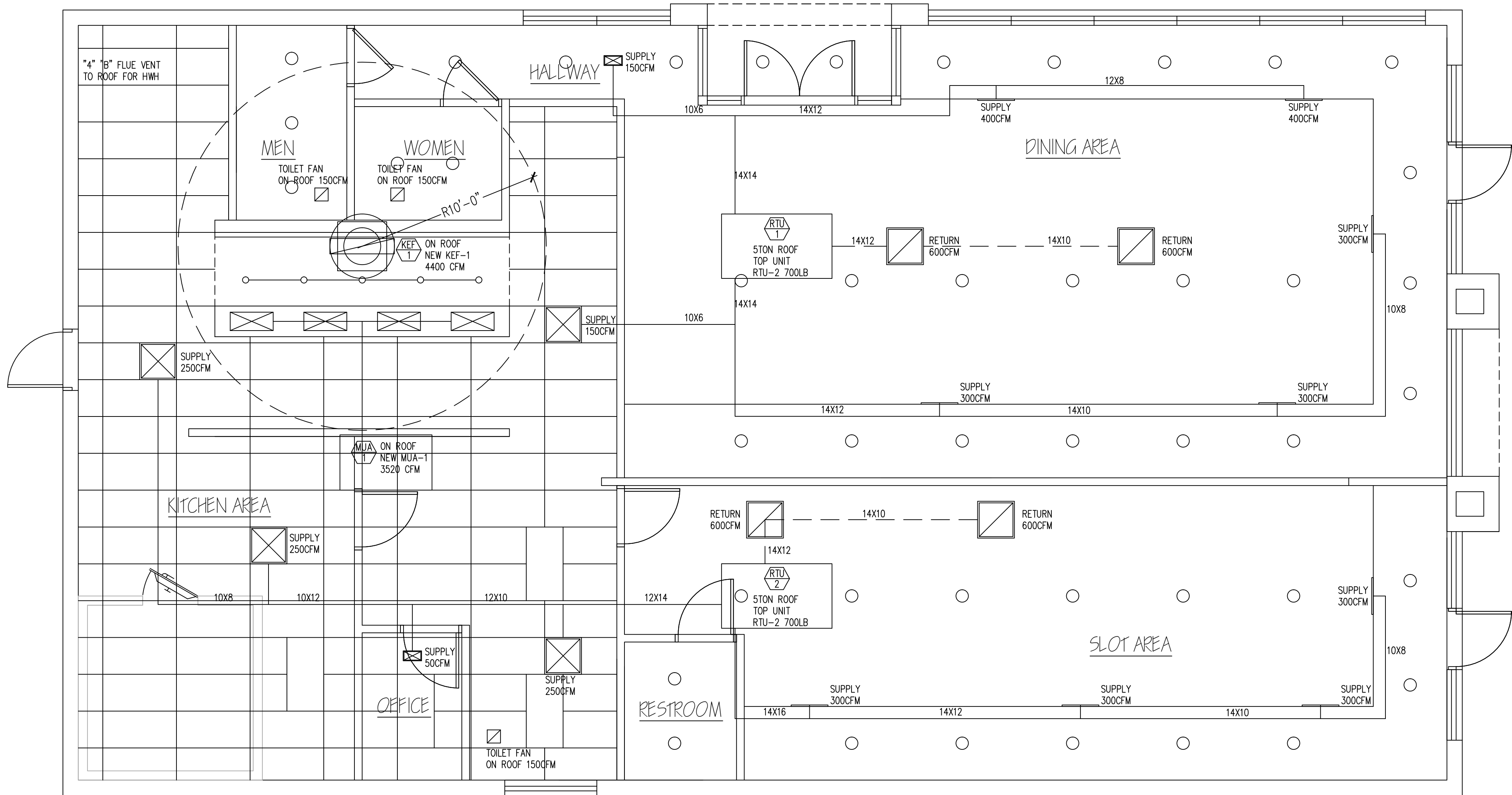
ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



ELECTRICAL LIGHTING PLAN

SHEET NUMBER

E2



MARK	QTY.	MANUF.	MODEL	CFM	REMARKS
RTU-1	1	BY OWNER	BY OWNER	2000	120,000 BTU IN/100,000 BTU OUT W/ECONOMIZER
RTU-2	1	BY OWNER	BY OWNER	2000	120,000 BTU IN/100,000 BTU OUT W/ECONOMIZER
KEF-1	1	ECON-AIR	EADU240H	4400	KITCHEN TYPE I EXHAUST FAN
MUA-1	1	ECON-AIR	EA2-D.250-20D	3520	MAKE UP AIR UNIT ON ROOF
TEF-1	1	BY OWNER	BY OWNER	150	TOILET EXHAUST FAN ON ROOF
TEF-2	1	BY OWNER	BY OWNER	150	TOILET EXHAUST FAN ON ROOF
TEF-3	1	BY OWNER	BY OWNER	150	TOILET EXHAUST FAN ON ROOF

NUM	LOCATION	AREA	MECHANICAL VENTILATION (IMC 403.3 COMPL.)						
			OUTSIDE AIR	EXHAUST	SUPPLY	EXHAUST	RETURN	EXHAUST	
100	DINING AREA	1000	525		3100		1200	RTU-1, 33% F.A	RTU-1
101	KITCHEN	1000	1000X1.2=1200	1000X4.0=4000	3520+900	4400			RTU-1, RTU-2, MUA-1
102	MAN RESTROOM	63	N.R.	150CFM		150			KEF-1
103	WOMAN RESTROOM	48	N.R.	150CFM		150			TEF-1
105	HALLWAY	108	8		150				TEF-2
TTL SUPPLY (RTU-1, AND MUA-1)						2000+3520			
TTL EXHAUST (KEF-1)							4400		
TOTAL RETURN AIR								1200	
TOTAL OUTDOOR AIR			525	PROVIDE 660CFM 33% OUTSIDE AIR THROUGH RTU-1 ECONOMIZER					

NUM	LOCATION	AREA	OUTSIDE AIR	EXHAUST (CODE)	SUPPLY	EXHAUST	RETURN	SUPPLY	EXHAUST
104	SLOT AREA	660	100		1200		1200	RTU-2, 33% F.A.	
106	OFFICE	40	6		50			RTU-2	
KITCHEN AREA						750		RTU-2	
107	TOILET ROOM	45	N.R.	75		150			TEF-3
TTL SUPPLY (RTU-2)						2000			
TTL EXHAUST (TEF-3)							150		
TOTAL RETURN AIR								1200	
TOTAL OUTDOOR AIR			106	PROVIDE 660CFM 33% OUTSIDE AIR THROUGH RTU-2 ECONOMIZER					

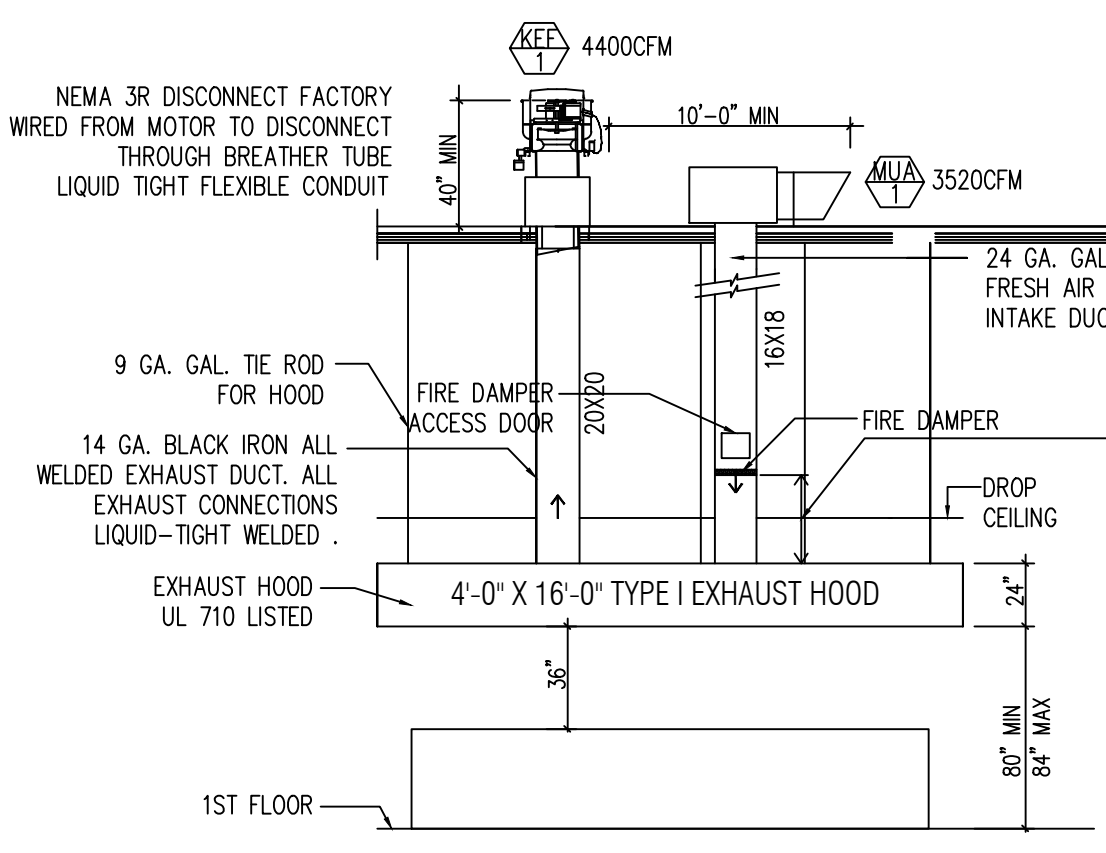
TAG	QTY	LOCATION	REF. USED	WT. OF REF. LBS	RATED (TONS)	HP	NO. OF COMP	REMOTE/SELF CONTAINED	WATER COOLED	AIR COOLED
NEW RTU-1	1	ROOF	R-410A	10lbs 9oz.	5	1	1	SELF CONTAINED	-	YES
NEW RTU-2	1	ROOF	R-410A	10lbs 9oz.	5	1	1	SELF CONTAINED	-	YES

CALCULATIONS
 EXHAUST HOOD KEF-1 SIZE: 16'-0" X 275CFM = 4400CFM
 ONE EXHAUST FAN: 20" X 20" DUCT SIZE @ 4400CFM / 2.78SF = 1582FPM

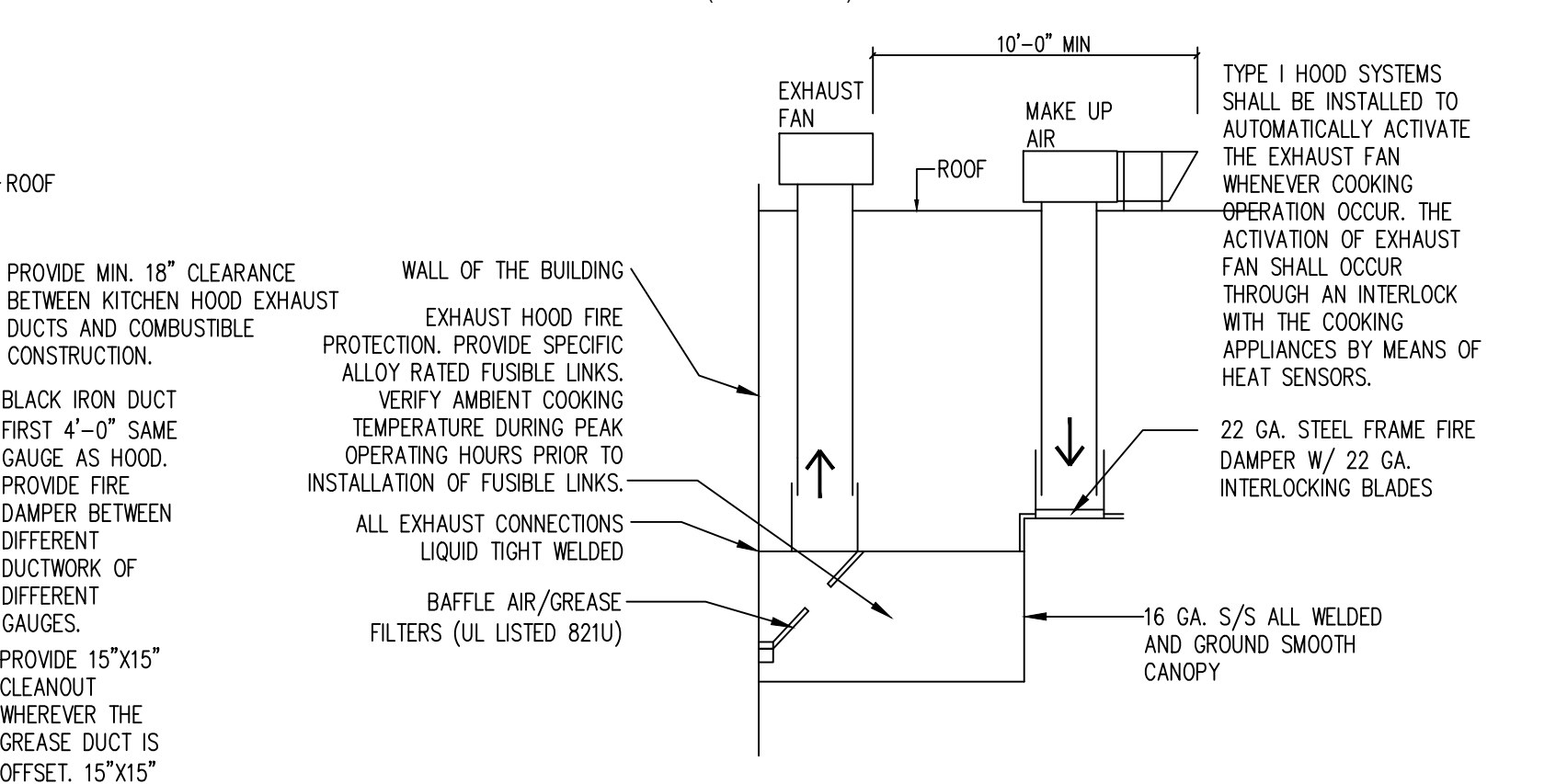
 ONE MAKE UP AIR UNIT: MUA-1: 80% X 4400CFM = 3520CFM
 16" X 18" = 2SF DUCT @ 1760FPM
 MAKE UP FROM KITCHEN = 900CFM

LOCATE INTAKE OPENING DISCHARGE MIN 10'-0" FROM ANY FAN NOT LESS THAN 2'-0" ABOVE THE ROOF
 ALL PLUMBING VENT TERMINALS SHALL BE LOCATED NOT LESS THAN 12'-0" HORIZONTALLY FROM ANY FRESH AIR INTAKE AT THE ROOF

MINIMUM 18 INCH CLEARANCE OF KITCHEN HOOD EXHAUST DUCT TO COMBUSTIBLE CONSTRUCTION.
 ALL PIPE PENETRATIONS OF THE HOOD(S) DUCTS SHALL BE LIQUID TIGHT (IMC 506.3.4)



B KITCHEN TYPE 1 HOOD ELEVATION
NOT TO SCALE



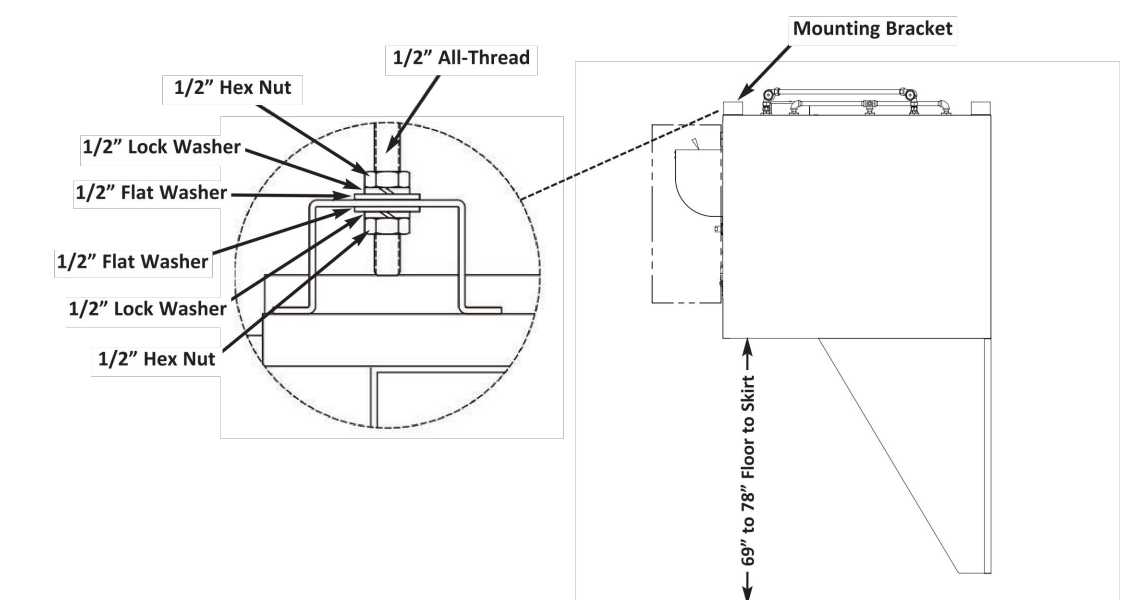
C TYPE 1 HOOD SECTION
NOT TO SCALE

03-28-2022

1. 173.10.12(c)9 Walk-in cooler is required to be mechanically permitted.
2. M509.1 Type I Hoods are required to have fire suppression.

NOTE:
 All mounting hardware and installation labor is to be provided by the Purchaser. This expense is not included with Hood purchase.

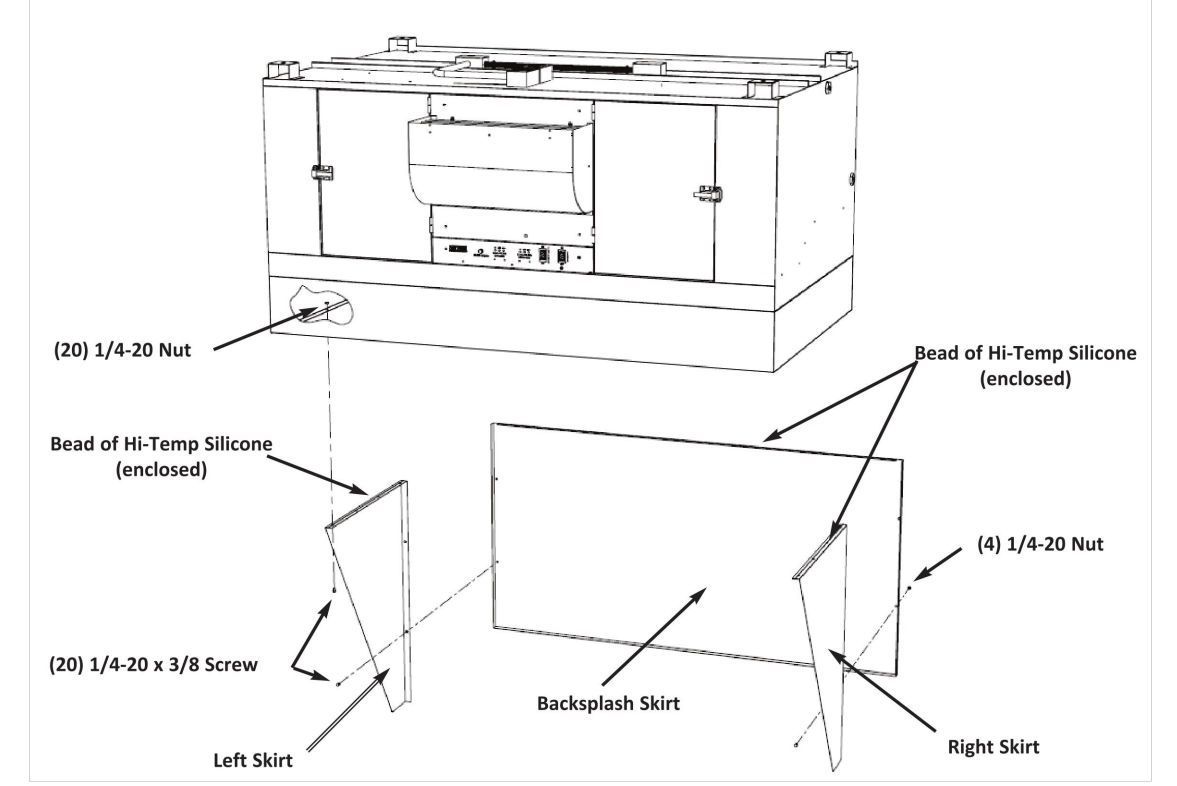
Hood is typically suspended from ceiling joists using 1/2" All-Thread Rod and suitable beam clamps, or other appropriate structure. All-Thread is attached to Hood at the four (4) welded suspension Brackets on each corner of the top, as shown below.
 Before continuing, have the ceiling structure inspected to verify that it is substantial enough to support the weight of the Hood; see Section 1.04.4, Weights.



1. Use 1/2" All-Thread, cut to appropriate lengths, to hang Hood using hex nuts and washers as shown above. Ensure the hood is level, left to right and front to back; adjust hex nuts at mounting brackets to obtain levelness.
2. After leveling, securely tighten the nuts.
3. In order for the Hood to perform properly as designed to effectively capture the grease-laden vapors generated by cooking appliances, the provided Backsplash and Side Skirts must be installed on the Hood, see Section 2.03.2, Hood Skirt Installation.

Hood Skirts **MUST** be installed on ceiling mount Hoods to ensure proper capture performance.

1. Peel all protective film from parts before assembling.
2. Apply a bead of the provided high-temperature silicone to the top flanges of both Side Skirts.
3. Attach Left and Right Side Skirts to hood with enclosed fasteners (do not tighten completely).
4. Apply a bead of the high-temperature silicone to the top flange of the Backsplash Skirt.
5. Attach Backsplash to hood with enclosed fasteners (do not tighten completely).
6. Fasten Left and Right Skirts to Rear Skirt.
7. Securely tighten all fasteners and wipe any excess silicone from the joints.



WEI TAN
 2425 S WENTWORTH AVE.
 CHICAGO IL 60616

PHONE: (312) 912-5798
 EMAIL: twarchitect98@yahoo.com

LICENSE NO: 001-022013
 EXPIRES: 11/30/2022

MEP ENGINEER
 236 W ALEXANDER STREET
 CHICAGO IL 60616

PHONE: (312) 720-8800
 BILLY_WANG68@HOTMAIL.COM
 LICENSE NO: 062.068227
 EXPIRES: 11 / 30 / 2023

DIRKSEN REALTY LLC
 BUILD A NEW ONE STORY
 COMMERCIAL BUILDING
 2811 NORTH DIRKSEN PKWY
 SPRINGFIELD IL 62703

ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022



MECHANICAL
 PLAN &
 SCHEDULES

SHEET NUMBER

M1

HOOD INFORMATION - JOB#5298730										
HOOD NO.	TAG	MODEL	MANUFACTURER	LENGTH	MAX. COOKING TEMP.	TYPE	APPLIANCE BUTY	SECTION	TOTAL EXH. CFM	TOTAL SUPPLY CFM
1		4824	ECON-AIR	16' 0"	600 DEG	1	HEAVY	275	4400	4400

EXHAUST FAN INFORMATION - JOB#5298730													
FAN UNIT NO.	TAG	QTY	FAN UNIT MODEL #	MANUFACTURER	CFM	ESP	HP	PHASE	VOLTY	FLA	DISCHARGE VELOCITY	WEIGHT (LBS)	CONES
1		1	EAD240H	ECON-AIR	4400	1.500	9/4	3SP-PREMIUM	3	208	150	1000 FPM	261

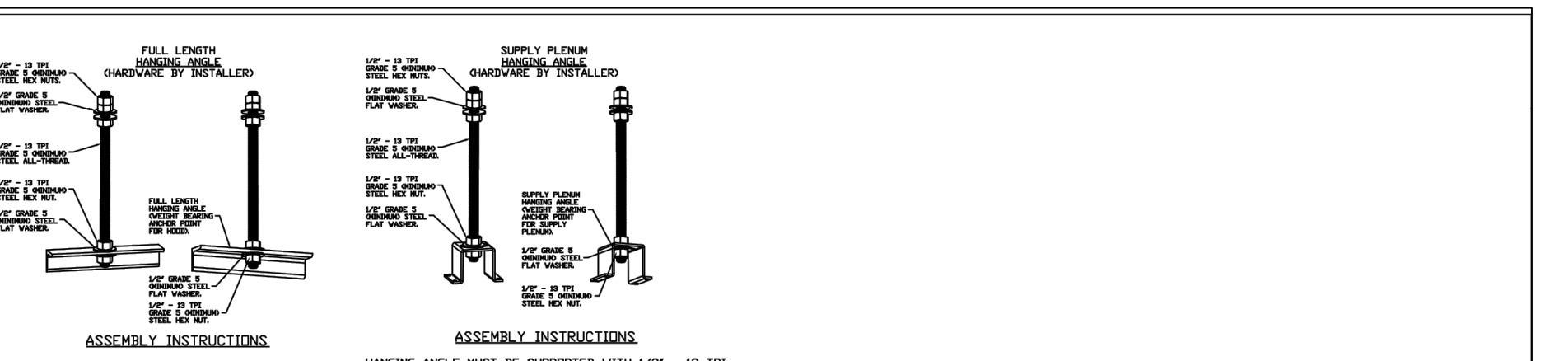
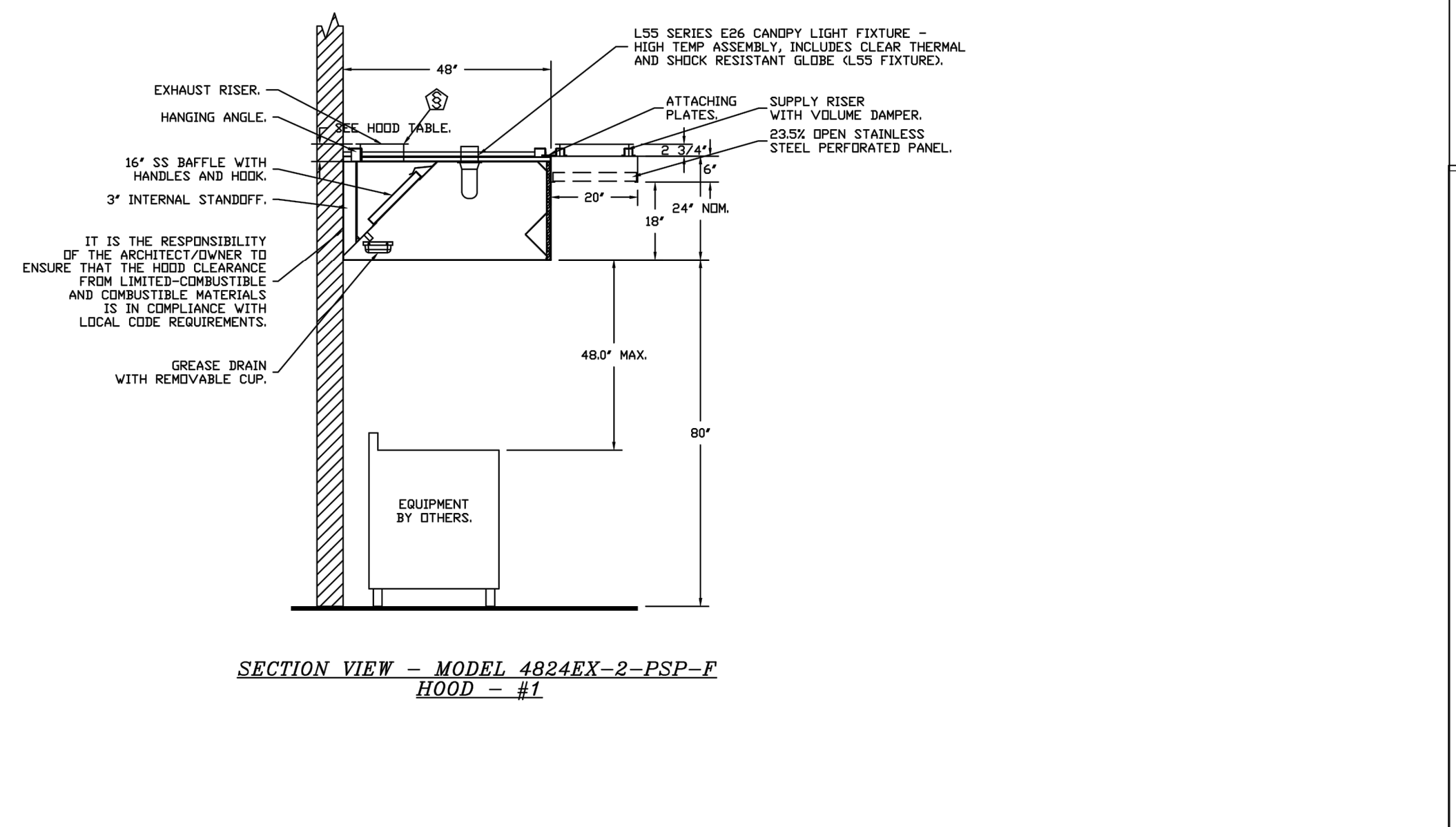
MIA FAN INFORMATION - JOB#5298730																	
FAN UNIT NO.	TAG	QTY	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP	HP	PHASE	VOLTY	FLA	NCA	HOOP	WEIGHT (LBS)	CONES	
1		1	EAD-0250-000	20W-2-MID	AS-0250	2000	3500	0.350	1342	3SP-PREMIUM	3	208	8.3	35.4A	15A	653	10.1

GAS FIRED MAKE-UP AIR UNITS									
FAN UNIT NO.	TAG	INPUT BTU/H	OUTPUT BTU/H	TEMP. RISE	REQUIRED INPUT GAS PRESSURE	GAS TYPE	BURNER EFFICIENCY (%)		
1		28000	25768	70°F	7 IN. W.C. - 14 IN. W.C.	NATURAL	92		

FAN OPTIONS		DESCRIPTION
1	GREASE BOX	
1	2 YEAR PARTS WARRANTY	
1	INLET PRESSURE GAUGE, 0-30"	
1	HANDHELD PRESSURE GAUGE, -5 TO 15" VC	
1	LOW FINE START	
1	METORIZED BACKDRAFT DAMPER FOR AS-3 HOUSING - MEETS AMCA CLASS A RATING	
1	SEPARATE 0.50" VIBRATION PACKAGE (REQUIRED AND USED ONLY FOR DCV DR. PREWIRE WITH VFD) - THREE PHASE ONLY	
1	SIZE 2 DIRECT FIRED HEATER LOW CFM PROFILE PACKAGE - USED ON HEATERS UNDER 2500 CFM	
1	2 YEAR PARTS WARRANTY	

FAN ACCESSORIES		EXHAUST	SUPPLY
FAN UNIT NO.	TAG	GREASE CUP	GRAVITY DAMPER
1		YES	
2			YES

CURB ASSEMBLIES		ITEM	SIZE
1	# 1	CURB	31500"V X 31500"V X 8000PH ALONG LENGTH, RIGHT VENTED HINGED.
2	# 2	CURB	31000"V X 79000"V X 8000PH ALONG WIDTH, RIGHT INSULATED.



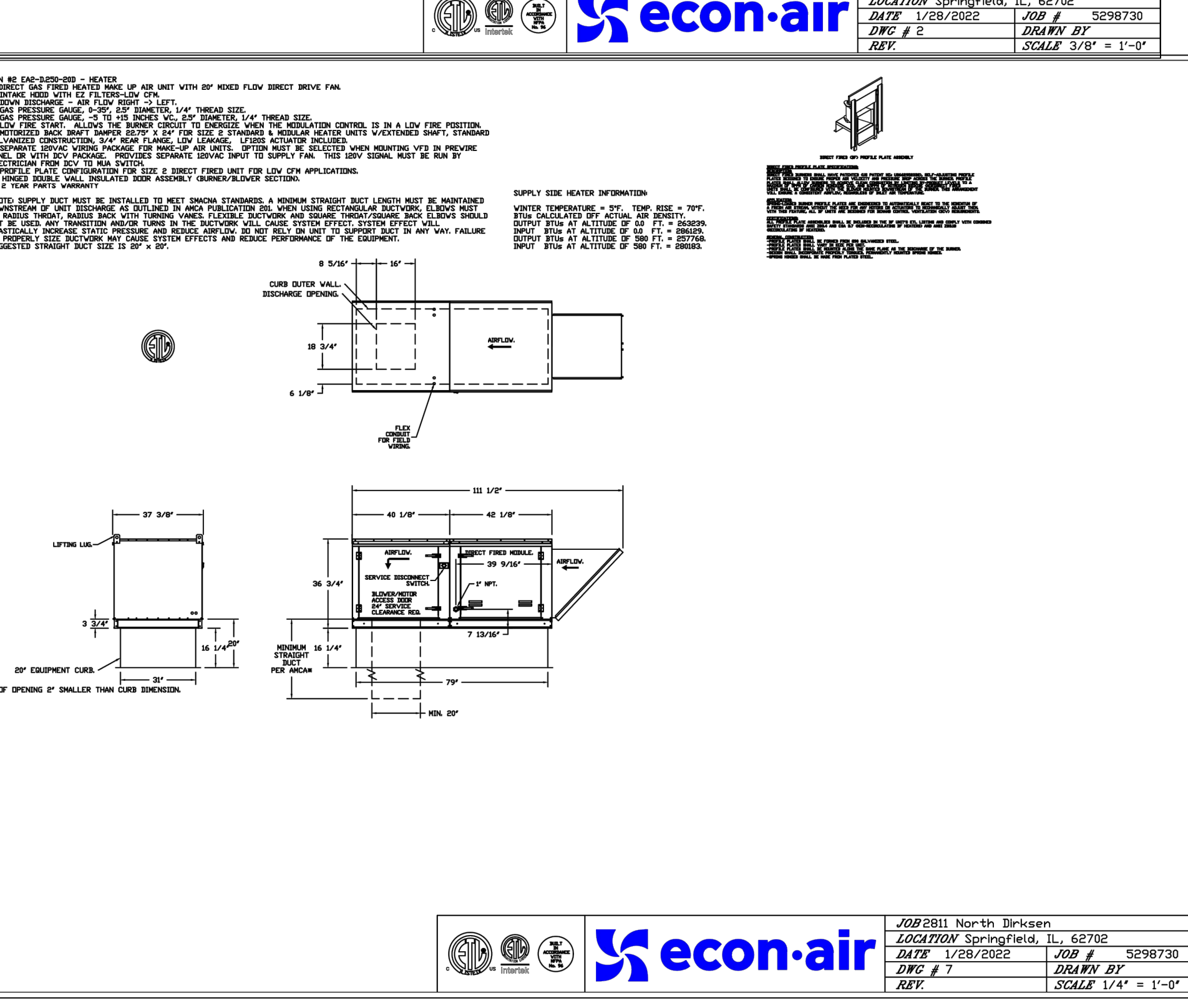
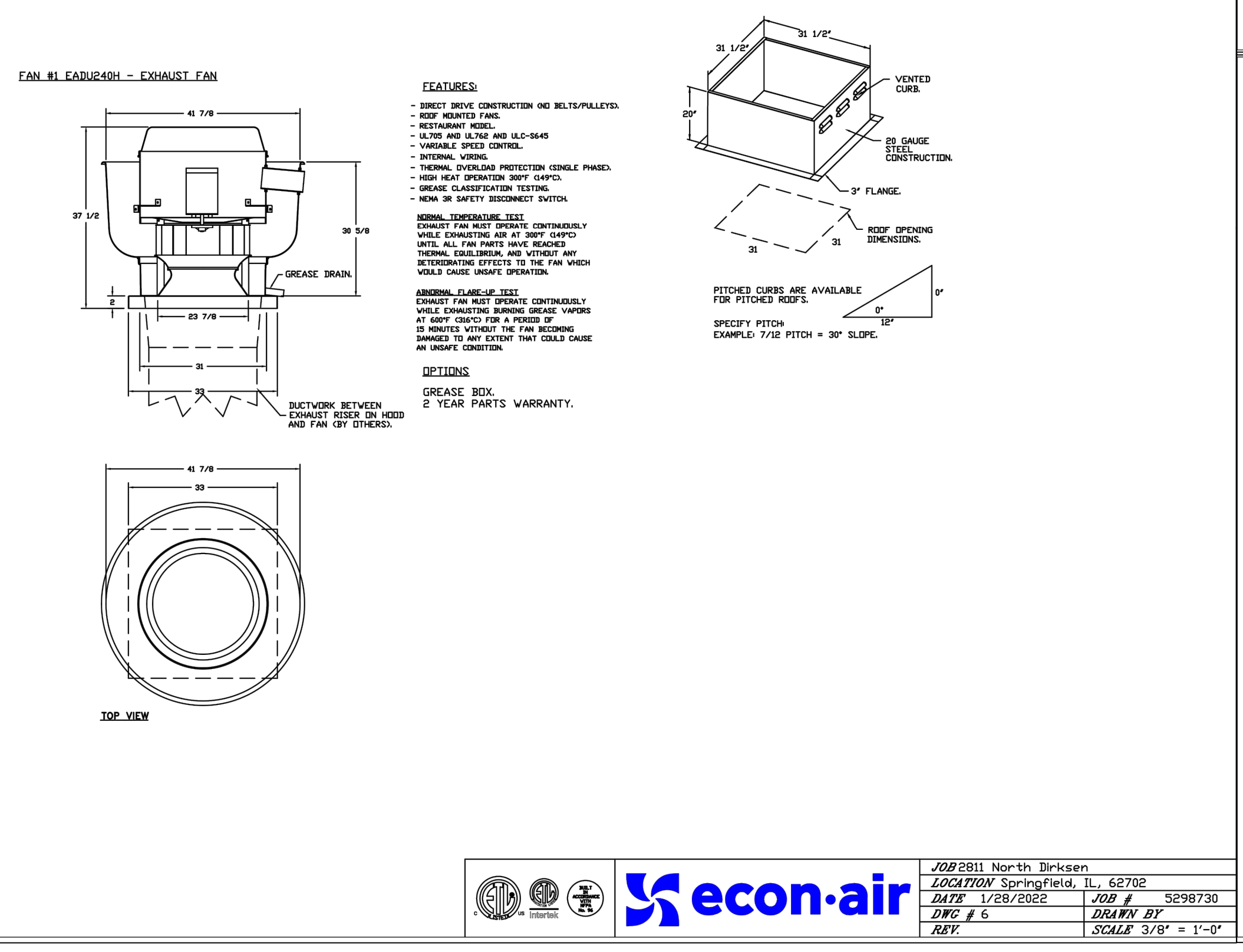
HANGING ANGLE MUST BE SUPPORTED WITH 1/2\"/>

		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 1 DRAWN BY REV. SCALE 3/8" = 1'-0"
--	--	--

		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 3 DRAWN BY REV. SCALE 3/8" = 1'-0"
--	--	--

		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 2 DRAWN BY REV. SCALE 3/8" = 1'-0"
--	--	--

		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 5 DRAWN BY REV. SCALE 3/8" = 1'-0"
--	--	--



		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 5 DRAWN BY REV. SCALE 3/8" = 1'-0"
--	--	--

		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 6 DRAWN BY REV. SCALE 3/8" = 1'-0"
--	--	--

		JOB#2811 North Dirksen LOCATION Springfield, IL, 62702 DATE 1/28/2022 JOB # SC98730 DWG # 7 DRAWN BY REV. SCALE 1/4" = 1'-0"
--	--	--

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616

PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com

LICENSE NO. 001-022013
EXPIRES: 11/30/2022

MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616

PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO. 062.068227
EXPIRES: 11 / 30 / 2023

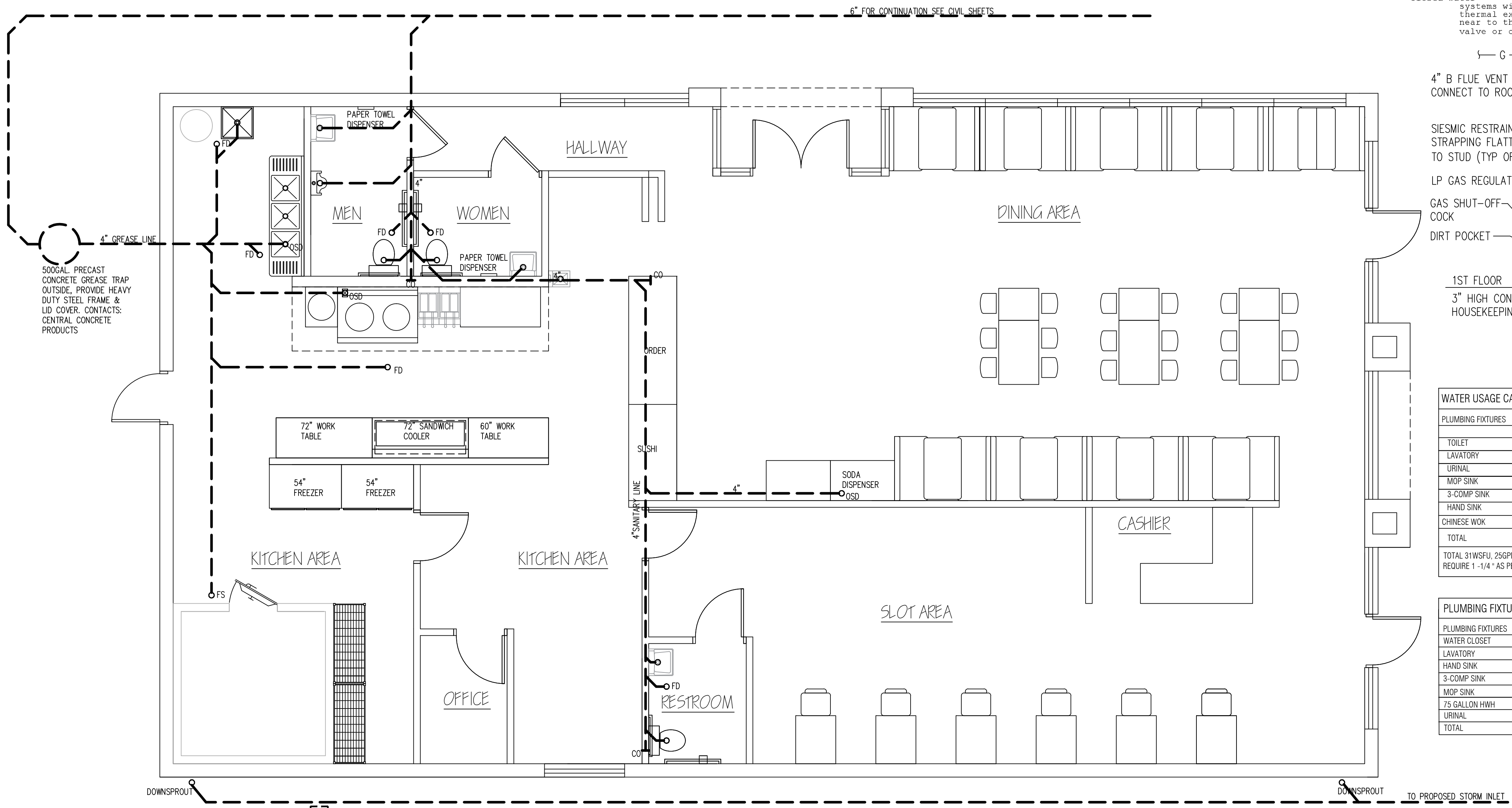
DIRKSEN REALTY LLC
 BUILD A NEW ONE STORY
 COMMERCIAL BUILDING
 2811 NORTH DIRKSEN PKWY
 SPRINGFIELD IL 62703

ISSUES	DATE
ISSUED FOR PERMIT	02/08/2022
REISSUED FOR PERMIT	03/28/2022

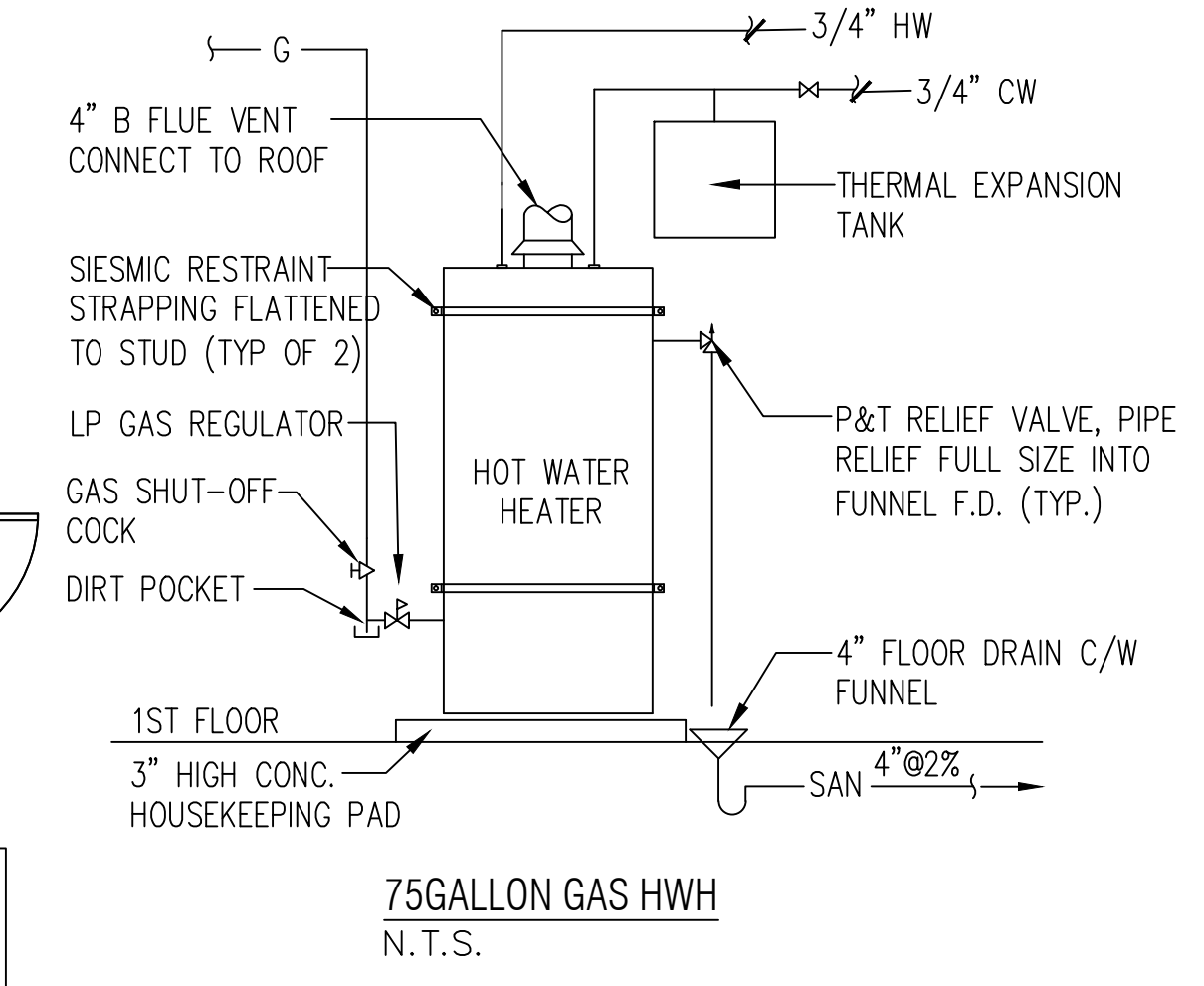


HOOD DETAILS

SHEET NUMBER
M2



Closed water systems with hot water storage shall have a properly sized thermal expansion tank located in the cold water supply as near to the water heater as possible and with no shut-off valve or other device between the heater and the expansion tank.



WATER USAGE CALCULATION			
PLUMBING FIXTURES	NO.	LOAD VALVES IN WATER SUPPLY FIXTURES UNITS	
		COLD	HOT
TOILET	3	3	9
LAVATORY	3	1	6
URINAL	1	3	3
MOP SINK	1	3	4
3-COMP SINK	1	3	4
HAND SINK	1	1	2
CHINESE WOK	1	3	3
TOTAL			31

TOTAL 31 W/FU, 25 GPM DEMAND, METER SIZE REQUIRE 1", PIPE SIZE REQUIRE 1-1/4" AS PER TABLE N APPENDIX A

PLUMBING FIXTURES AND FITTINGS SCHEDULE		
FIXTURE	MODEL	MODEL NO./REMARKS
WATER CLOSET	KOHLER	ADA COMPLAINT FLOOR MOUNTED
LAVATORY	KOHLER	ADA COMPLAINT WALL MOUNTED
URINAL	KOHLER	ADA COMPLAINT WALL MOUNTED
FAUCET	KOHLER	ADA COMPLAINT ASME/ANSI 116/117 COMPLIANT SET TO 110F MAX
TEMPERING VALVE	WATTS	1170-M2
TOILET PAPER DISPENSER	BOBRICK	B5288 ADA
GRAB BARS	BOBRICK	B6606 SERIES, 36" AND 42"
SOAP DISPENSER	BOBRICK	B8216 SURFACE MOUNTED
MIRROR	BOBRICK	B-165 (ADA COMPLAINT)
TRASH RECEPTACLE	BOBRICK	B-275 WALL MOUNTED
PAPER TOWEL DISPENSER		38" AFF FOR ACCESSIBILITY

PLUMBING FIXTURES		
PLUMBING FIXTURES	QTY	COMMENT
WATER CLOSET	3	
LAVATORY	3	
HAND SINK	1	
3 COMP SINK	1	
MOP SINK	1	
75 GALLON HWH	1	
URINAL	1	
TOTAL	11	

A PLUMBING PLAN

SCALE 1/4" = 1'-0"

PLUMBING NOTES

ALL WATER INLETS MUST HAVE AN AIR GAP BETWEEN THE WATER INLET AND THE FIXTURE IT IS SERVING. THE AIR GAP MUST BE TWICE THE DIAMETER OF THE WATER INLET.

PROVIDE VACUUM BREAKERS ON SUBMERGED INLETS SUCH AS WATER CLOSETS, MOP SINK FAUCET AND ANY THREADED WATER OUTLET. PROVIDE DOUBLE CHECK VALVES WITH ATMOSPHERIC VENTS OR REDUCED PRESSURE ZONED BACKFLOW PREVENTERS CAPABLE OF BEING SUBMERGED ON WATER INLETS WHERE YOU CANNOT INSTALL A VACUUM BREAKER AFTER THE LAST SHUT OFF VALVE OR SOLENOID SWITCH SUCH AS THE PRE-WASH SPRAYER.

INSTALL WATTS 9D SERIES DUAL CHECK VALVE WITH INTERMEDIATE ATMOSPHERIC VENT BACKFLOW PREVENTOR

TO PREVENT BACKFLOW FROM CHEMICAL SYSTEM AT 3 COMP SINK, PROVIDE AN ECO-LAB PATHWAYS ELECTRONIC UNIT OR EQUIVALENT. THERE SHALL BE NO DRILLING OR TAPPING OF ANY PORTABLE WATER SUPPLY PIPE, FITTING OR FIXTURE FITTING FOR THE PURPOSE OF INTRODUCING SUCH CHEMICALS.

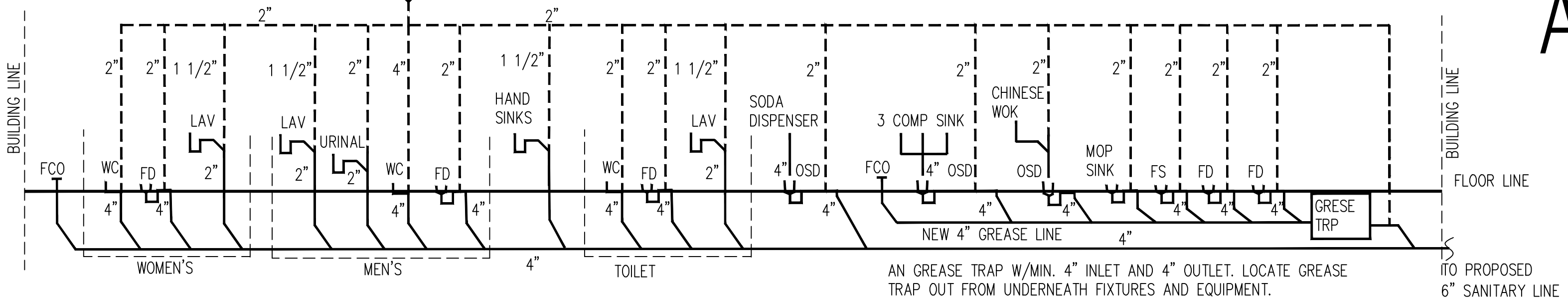
INDIRECT WASTE DRAINS ARE REQUIRED AT ALL THREE COMPARTMENT SINKS, WALK-IN COOLERS/FREEZERS CONDENSATE, OR ANY FOOD RELATED EQUIPMENT REQUIRING DRAINAGE.

PROVIDE ALL LABOR, MATERIALS, REQUIRED PERMITS, INSPECTION FEE NECESSARY FOR AND INCIDENTAL TO THE INSTALLATION OF COMPLETE PLUMBING SYSTEM INCLUDING ALL PIPES FITTINGS EQUIPMENTS AND NECESSARY APPURTENANCE.

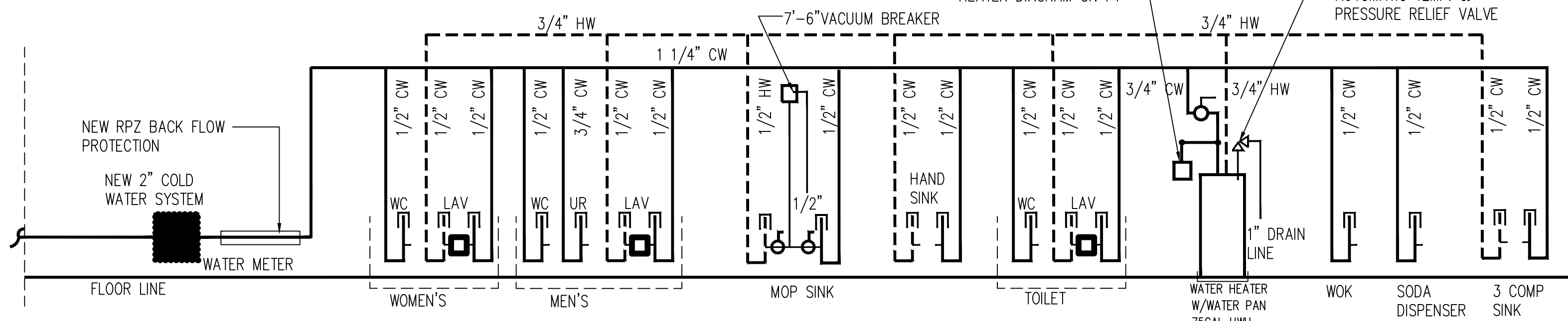
ALL PLUMBING INSTALLATIONS SHALL MEET STATE OF ILLINOIS, HEALTH DEPARTMENT REQUIREMENTS.

SIZE AND LOCATION OF GREASE TRAP SHALL MEET LOCAL CODE REQUIREMENT. OBTAIN AND PAY FOR PERMITS AND FEES FROM LOCAL SANITARY DISTRICT HAVING JURISDICTION.

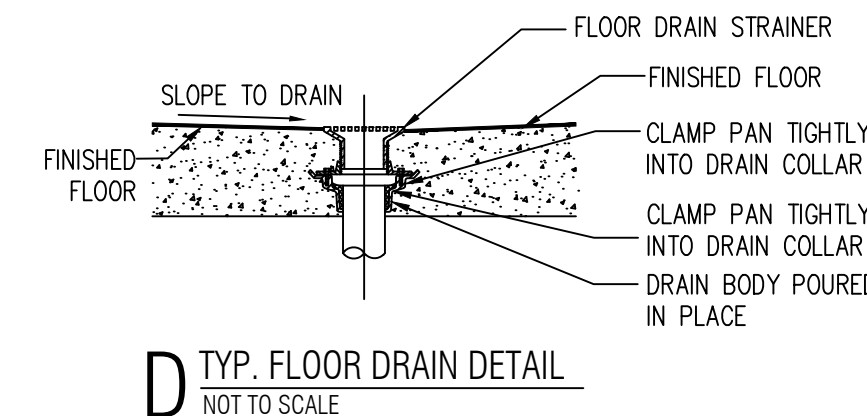
ALL ABOVE GROUND SUPPLY WATER PIPING SHALL BE COPPER TYPE L. ABOVE GROUND WASTE / VENT PIPING SHALL CONFORM TO 2014 ILLINOIS PLUMBING CODE. UNDERGROUND WASTE & VENT PIPING SHALL CONFORM TO 2014 ILLINOIS PLUMBING CODE. SEWER AND WASTE PIPING SHALL BE PRESSURE TESTED PER LOCAL PLUMBING CODE.



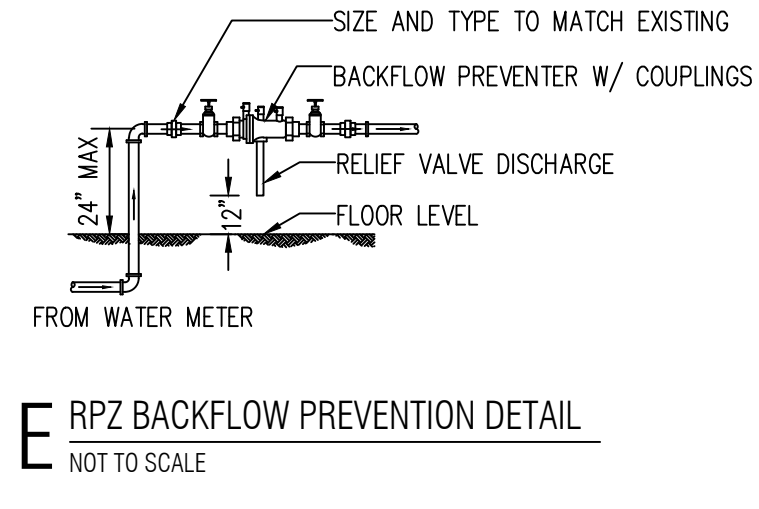
B WASTE RISER DIAGRAM
NOT TO SCALE



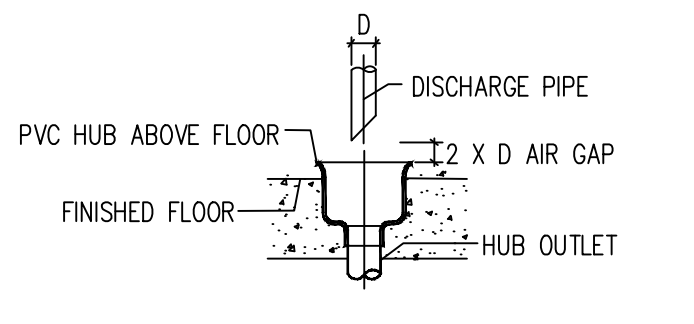
C SUPPLY RISER DIAGRAM
NOT TO SCALE



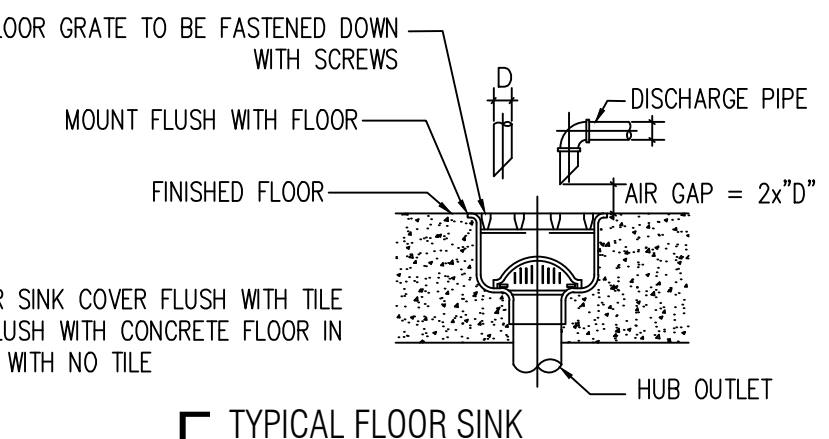
D TYP. FLOOR DRAIN DETAIL
NOT TO SCALE



E RPZ BACKFLOW PREVENTION DETAIL
NOT TO SCALE



G TYP. INDIRECT WASTE CONNECTION (OSD)
NOT TO SCALE



F TYPICAL FLOOR SINK
NOT TO SCALE

WEI TAN
2425 S WENTWORTH AVE.
CHICAGO IL 60616
PHONE: (312) 912-5798
EMAIL: twarchitect98@yahoo.com
LICENSE NO: 001-022013
EXPIRES: 11/30/2022

MFP ENGINEER
236 W ALEXANDER STREET
CHICAGO IL 60616
PHONE: (312) 720-8800
BILLY_WANG68@HOTMAIL.COM
LICENSE NO: 062.068227
EXPIRES: 11 / 30 / 2023

DIRKSEN REALTY LLC
 BUILD A NEW ONE STORY
 COMMERCIAL BUILDING
 2811 NORTH DIRKSEN PKWY
 SPRINGFIELD IL 62703

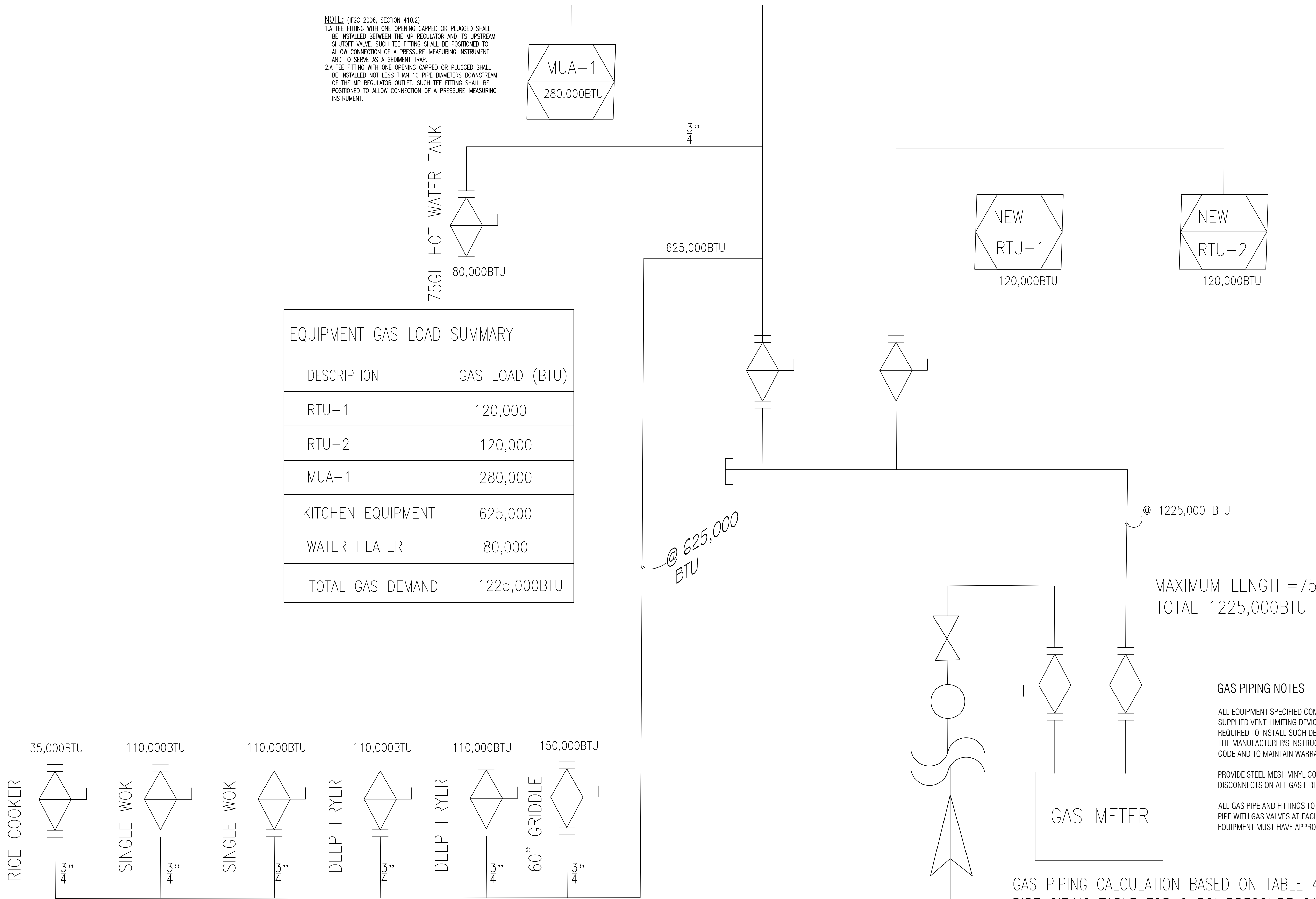
ISSUES	DATE
ISSUED FOR PERMIT	02/08 / 2022
REISSUED FOR PERMIT	03/28 / 2022



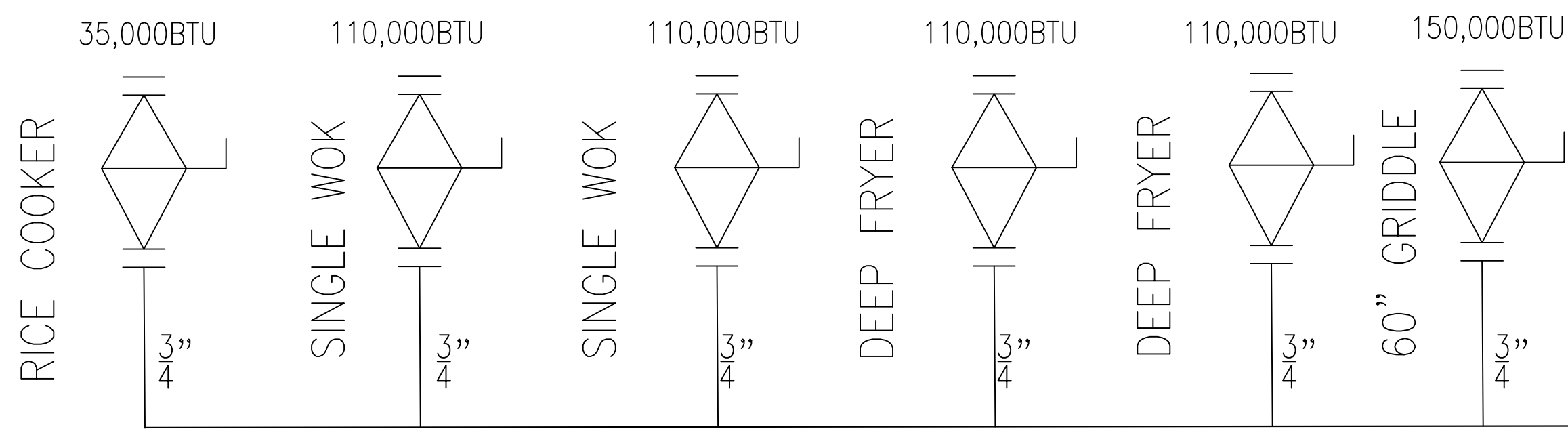
PLUMBING PLAN & NOTES

SHEET NUMBER
P1

NOTE: (IFGC 2006, SECTION 410.2)
 1.A TEE FITTING WITH ONE OPENING CAPPED OR PLUGGED SHALL BE INSTALLED BETWEEN THE MP REGULATOR AND ITS UPSTREAM SHUTOFF VALVE. SUCH TEE FITTING SHALL BE POSITIONED TO ALLOW CONNECTION OF A PRESSURE-MEASURING INSTRUMENT AND TO SERVE AS A SEDIMENT TRAP.
 2.A TEE FITTING WITH ONE OPENING CAPPED OR PLUGGED SHALL BE INSTALLED NOT LESS THAN 10 PIPE DIAMETERS DOWNSTREAM OF THE MP REGULATOR OUTLET. SUCH TEE FITTING SHALL BE POSITIONED TO ALLOW CONNECTION OF A PRESSURE-MEASURING INSTRUMENT.



EQUIPMENT GAS LOAD SUMMARY	
DESCRIPTION	GAS LOAD (BTU)
RTU-1	120,000
RTU-2	120,000
MUA-1	280,000
KITCHEN EQUIPMENT	625,000
WATER HEATER	80,000
TOTAL GAS DEMAND	1225,000 BTU



GAS RISER DIAGRAM

SCALE: N.T.S.

MAXIMUM LENGTH=75'
 TOTAL 1225,000 BTU

GAS PIPING NOTES

ALL EQUIPMENT SPECIFIED COME WITH MANUFACTURER SUPPLIED VENT-LIMITING DEVICES. CONTRACTOR IS REQUIRED TO INSTALL SUCH DEVICES IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO MEET IFG 410.2 CODE AND TO MAINTAIN WARRANTY.

PROVIDE STEEL MESH VINYL COATED GAS LINES WITH QUICK DISCONNECTS ON ALL GAS FIRED EQUIPMENT.

ALL GAS PIPE AND FITTINGS TO BE SCHEDULE 40 BLACK GAS PIPE WITH GAS VALVES AT EACH APPLIANCE. KITCHEN EQUIPMENT MUST HAVE APPROVED GAS CONNECTORS.

GAS PIPING CALCULATION BASED ON TABLE 402 (3) OF IFGC-2006 EDITION PIPE SIZING TABLE FOR 2 PSI PRESSURE CAPACITY OF PIPES OF DIFFERENT DIAMETERS AND LENGTHS IN CUBIC FEET PER HOUR FOR AN INITIAL PRESSURE OF 2.0 PSI WITH A 1.0 PSI PRESSURE DROP AND A GAS OF 0.6 SPECIFIC GRAVITY

TOTAL RUN FROM POINTS OF DELIVERY TO THE REMOTE OUTLET 75'-0" FT.
 TOTAL BTU = 1225,000 BTU

WEI TAN
 2425 S WENTWORTH AVE.
 CHICAGO IL 60616
 PHONE: (312) 912-5798
 EMAIL: twarchitect98@yahoo.com
 LICENSE NO: 001-022013
 EXPIRES: 11/30/2022

MEP ENGINEER
 236 W ALEXANDER STREET
 CHICAGO IL 60616
 PHONE: (312)720-8800
 BILLY_WANG68@HOTMAIL.COM
 LICENSE NO: 062.068227
 EXPIRES: 11 / 30 /2023

DIRKSEN REALTY LLC
 BUILD A NEW ONE STORY
 COMMERCIAL BUILDING
 2811 NORTH DIRKSEN PKWY
 SPRINGFIELD IL 62703

ISSUES	DATE
ISSUED FOR PERMIT	02/08 /2022
REISSUED FOR PERMIT	03/28 /2022



GAS PIPING PLAN & NOTES

SHEET NUMBER

P2