

1 EXIST'G BASEMENT PLAN  
 1/4" = 1'-0" 

TW ARCHITECT INC  
 2425 S WENTWORTH AVE  
 CHICAGO IL 60616  
 PHONE: (312) 912-5798  
 EMAIL: twarchitect98@yahoo.com  
 LICENSE NO: 001-022013  
 EXPIRES: 11/30/2022

PROPERTY OWNER:  
 BRENDA PHUNG  
 773-968-7559  
 brendap@dititanium.com

INTERIOR REMODELING  
 FOR COMMERCIAL/RESIDENTIAL MIX  
 UNITS  
 5142 WEST MAIN STREET  
 SKOKIE ILLINOIS 60077

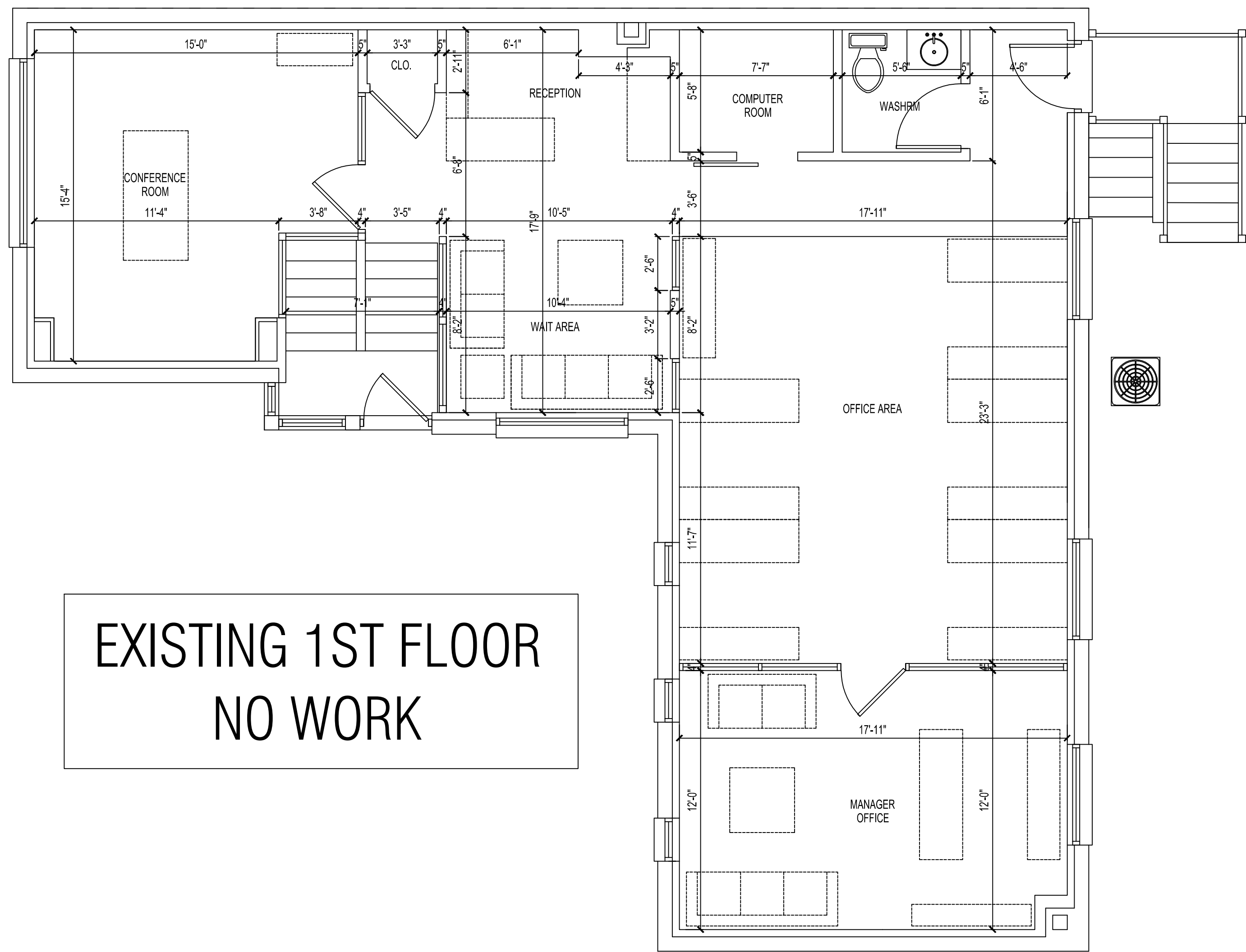
ISSUES	DATE
ISSUED FOR PERMIT	08/28/2021



DEMO  
 PLAN

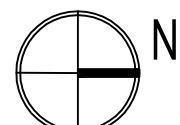
SHEET NUMBER

A1



EXISTING 1ST FLOOR  
NO WORK

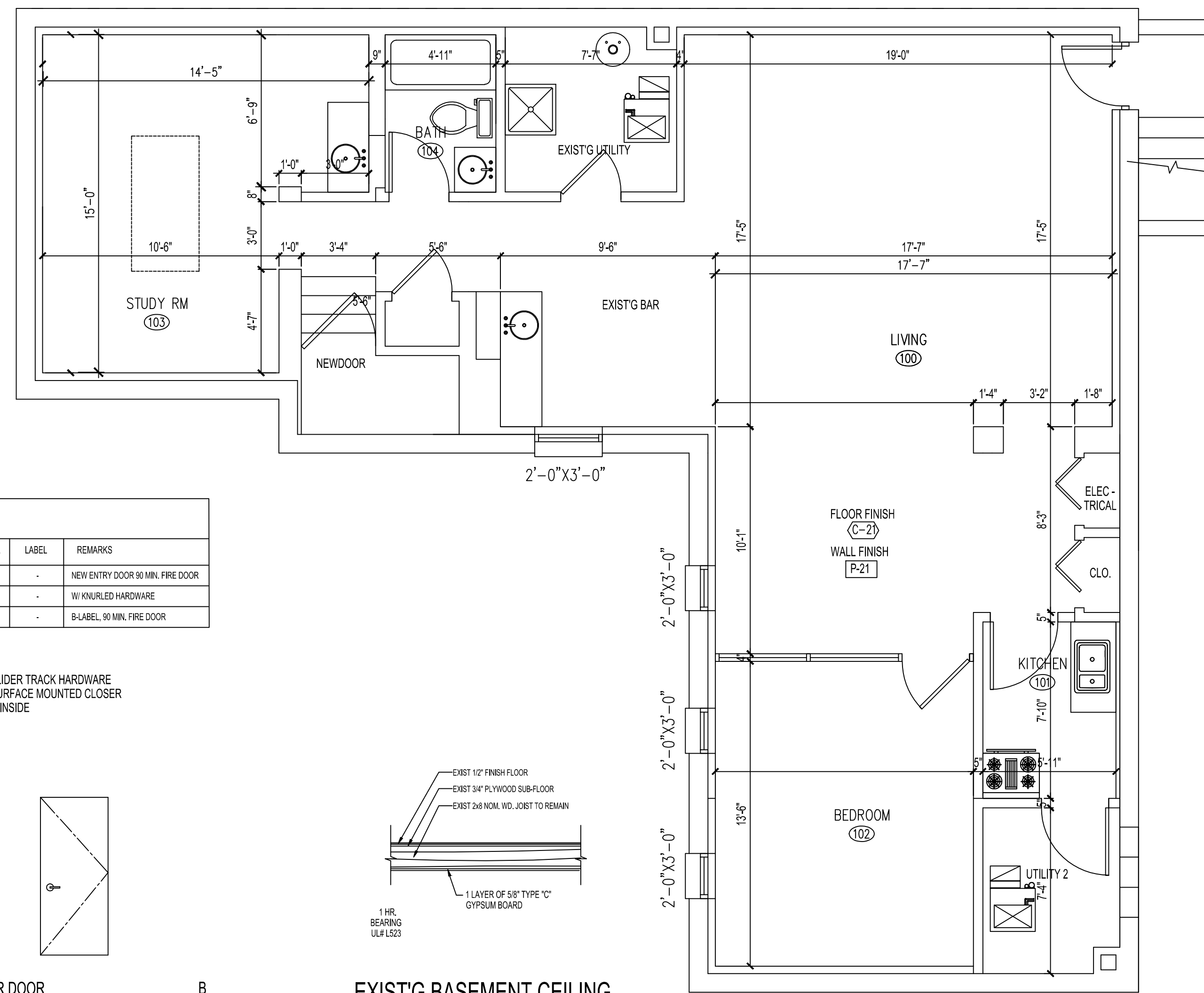
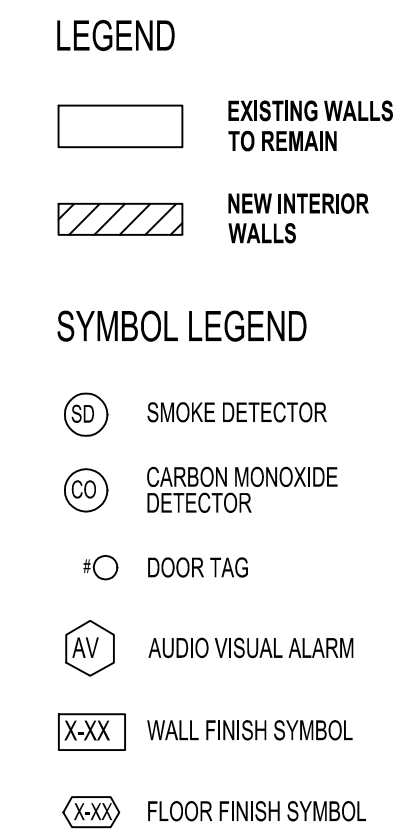
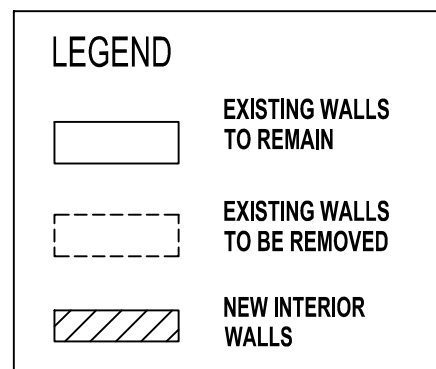
2 EXIST'G FIRST FLOOR PLAN  
1/4" = 1'-0"



FLOOR FINISH MATERIAL SCHEDULE				
#	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION / REMARKS
T-23	BATHROOM FLOOR TILE	KEOPE	JAPURA	DARK TILE, 12"X12"
C-21	TILE FLOORING	-	-	BY OWNER

WALL FINISH MATERIAL SCHEDULE				
#	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION / REMARKS
P-21	PAINT	SHERWIN WILLIAMS	SW --	COLOR BY OWNER

CEILING FINISH SCHEDULE				
#	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION / REMARKS
P-30	PAINTED CEILING	SHERWIN WILLIAMS	SW 1900	

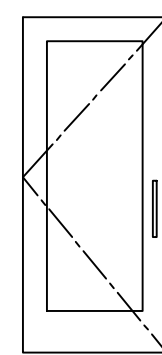


1 PROPOSED BASEMENT PLAN  
1/4" = 1'-0"

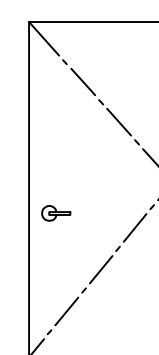


DOOR SCHEDULE									
MARK	TYPE	WIDTH	HEIGHT	THICKNESS	FINISH	SWING	HARDWARE	LABEL	REMARKS
A	1	3'-0"	6'-10"	1 3/4"	MFR.	/	1	-	NEW ENTRY DOOR 90 MIN. FIRE DOOR
B	2	3'-0"	6'-10"	1 3/8"	MFR.	/	2	-	W/ KNURLED HARDWARE
C	3	3'-0"	6'-10"	1 3/4"	MFR.	/	3	-	B-LABEL 90 MIN. FIRE DOOR

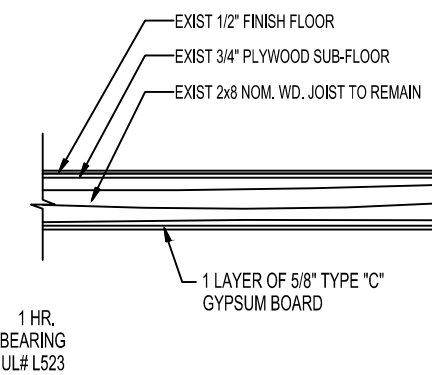
- HARDWARE SCHEDULE
- KEYED ENTRY WITH DEADBOLT
  - PRIVACY
  - PASSAGE
  - BI-FOLD / SLIDER PULLS AND BI-FOLD / SLIDER TRACK HARDWARE
  - KEYED ENTRY WITH PANIC HARDWARE SURFACE MOUNTED CLOSER
  - KEYED LOCK ON OUTSIDE - PASSAGE ON INSIDE



ENTRY DOOR  
1 3/8" THICK METAL DOOR W/ TEMPERED SAFETY GLASS



INTERIOR DOOR  
1 3/8" THICK WOOD DOOR W/ KNURLED HARDWARE



EXIST'G BASEMENT CEILING  
N. T. S.

DOOR TYPES  
N. T. S.

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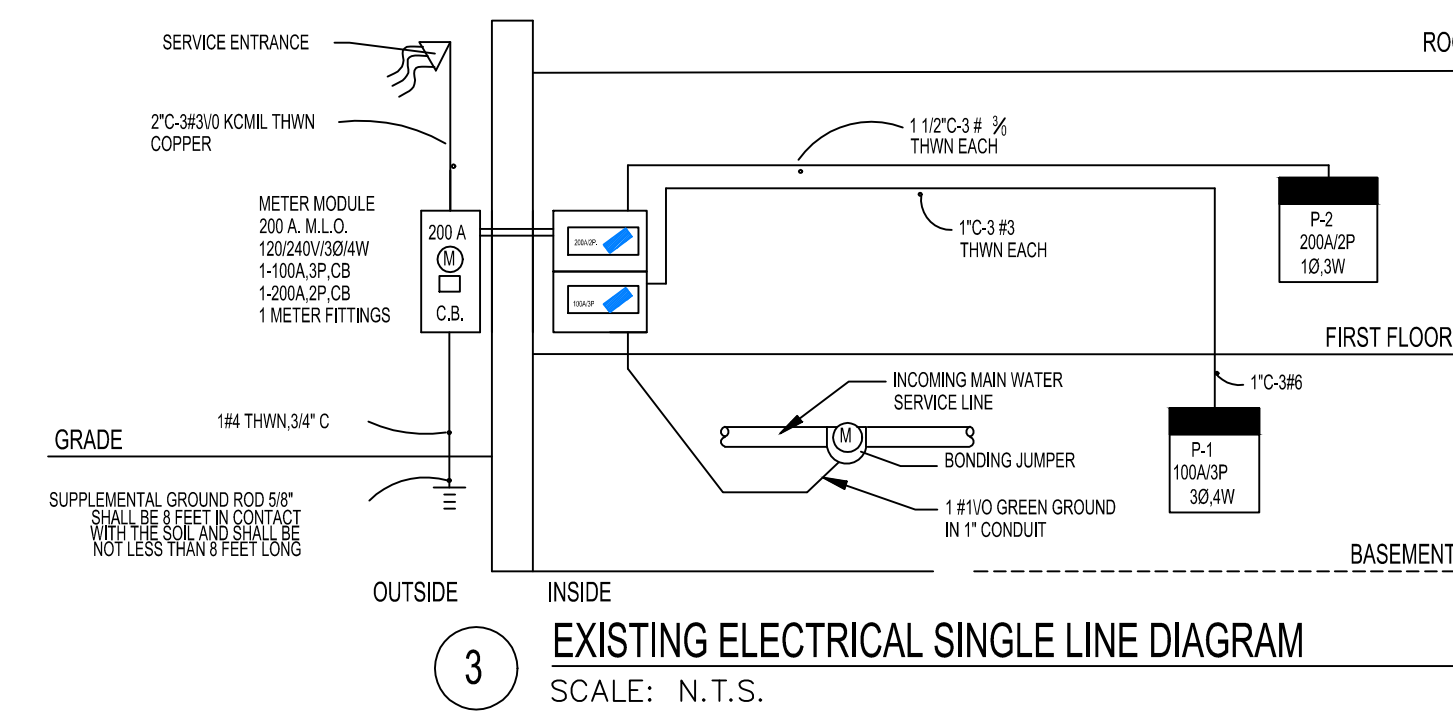
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FLOOR  
PLANS & NOTES

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A2



**Service Building Load Calculation**

Address: 5042 MAIN ST. SKOKIE IL  
 Outside Building Dimensions: Length 44' Width 40' Flights 2  
 Type of Electrical Service: 3 Phase 4  
 Wire 120/240 Volt 200 Amperes  
 Service Conductors 14-28-1480 Size 4 #3V0(Cu) 2 1/2 IMC, Rigid  
 Conduit 2 1/2 IMC, Rigid

Building areas:  
 1st Floor Commercial 1,363  
 Basement Commercial 1,363  
 Total square foot area 2726

LIGHTING @3VA/SF. 8178  
 Receptacle load @ 11A/SQ.FT. 2726

2) Remote "AC-1; AC-2" Units @ 6,400 VA each 12800  
 1) Other misc., fixed appliances over 1600 Watts each 1600

Total Commercial VA: 25304  
 Commercial area Amps: 70.2

Use a 200A/3ph Service 110V/208V. 3PH. 4W  
**TOTAL AMPS 70 Amp**

NOTE:  
 BATTERY UNITS SHALL BE FED FROM THE LIGHTING CIRCUIT THAT ILLUMINATES THE AREA OF THE BATTERY UNIT

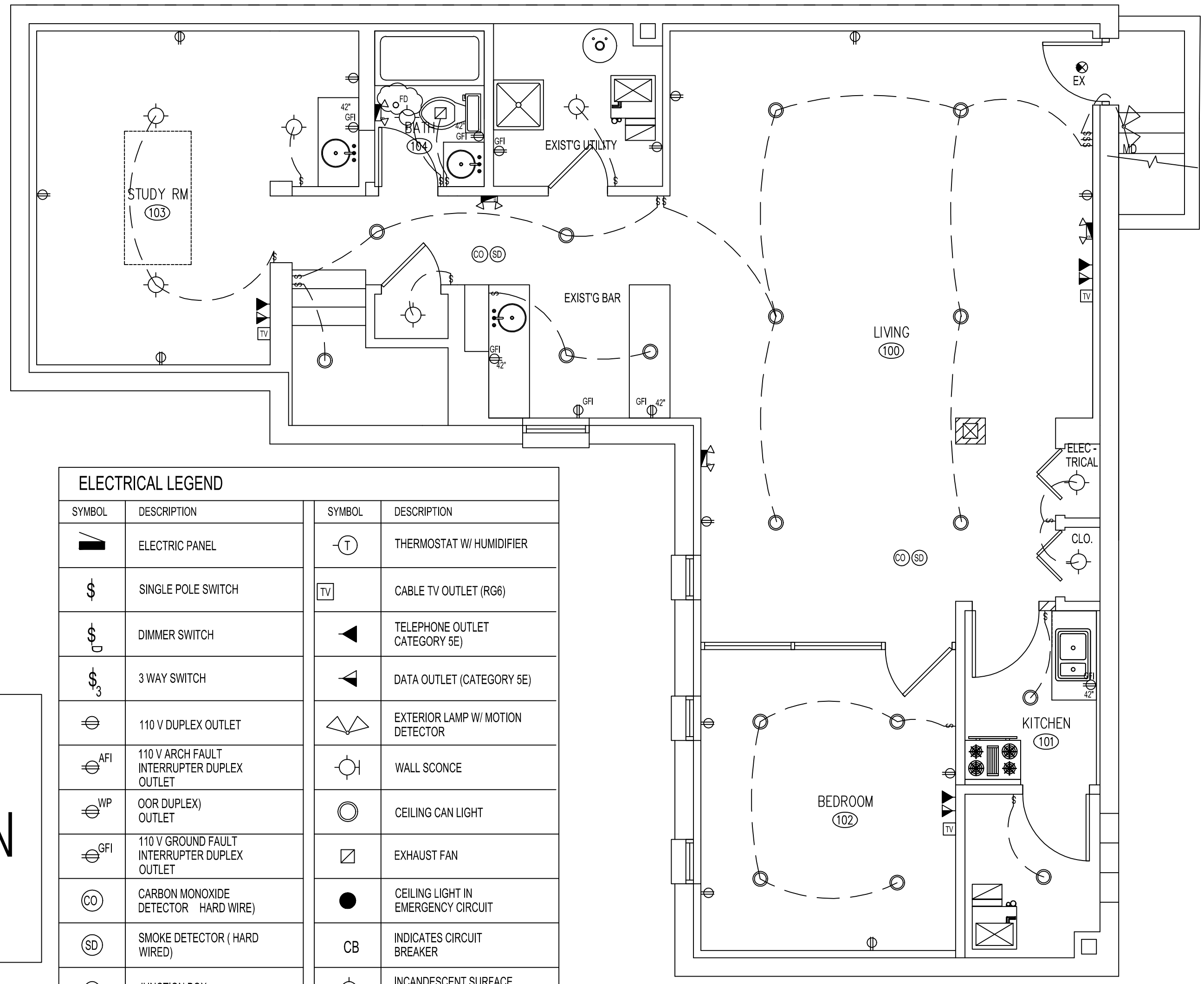
FIXTURE TYPE	LAMPS		WATTS/LAMP	TOTAL FIXTURE WATTAGE	VOLTS	MANUFACTURER CATALOG	DESCRIPTION
	TYPE	SUB					
F1	LED		25	975	100	LIGHT-POLER # 03P50-03V	TYP INCANDESCENT OPERATOR LIGHT LUMINAIRE WITH 1/2" SPEC. ALUM. HAZK REFLECTOR AND WHITE SELF FLANGE.
F2	LED		26	260	100	LIGHT-POLER # 03XMP-02V	SURFACE MOUNTED 1" DIA. LIGHT FIXTURE WITH 4" X 4" LUMINAIRE.
F3	LED		8	56	100	LIGHT-POLER # 04-050-03V	CHICAGO APPROVED EMERGENCY BATTERY LIGHT REMOTE WIRE MOUNTING.
EX	LED		14	140	100	BUREAU-LITE # EAC SERIES	CHICAGO APPROVED EMERGENCY EXIT SIGN TYPE AS REQUIRED (WALL OR CEILING)
F4	LED		35	210	100		CHICAGO APPROVED MOBE DETECT WATER PROOF LIGHT FIXTURE (UNAS)

**LIGHTING NOTES**

ALL FIRE ALARM, SMOKE DETECTOR, NIGHT LIGHT, AND EXIT SIGN CIRCUITS SHALL BE SECURED WITH A LOCKOUT DEVICE TO PREVENT ACCIDENTAL DEACTIVATION. INTERLOCK MOTORIZED DAMPERS MUST BE INSPECTED AT ROUGH AND FINAL STAGES BY BOTH THE ELECTRICAL AND MECHANICAL INSPECTORS.

ALL RECEPTACLES SHALL BE RATED AT NO LESS THAN 20 AMPS WITH #12 COPPER WIRE

STORAGE BATTERIES FOR POWERING EMERGENCY SYSTEM SHALL BE OF SUITABLE RATING AND CAPACITY TO SUPPLY AND MAINTAIN THE TOTAL EMERGENCY LOAD FOR A PERIOD OF 1.5 HOURS MINIMUM WITHOUT THE VOLTAGE APPLIED TO THE LOAD FALLING BELOW 87.5% OF NORMAL



ELECTRICAL LEGEND		ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	ELECTRIC PANEL	[Symbol]	THERMOSTAT W/ HUMIDIFIER
[Symbol]	SINGLE POLE SWITCH	[Symbol]	CABLE TV OUTLET (RG6)
[Symbol]	DIMMER SWITCH	[Symbol]	TELEPHONE OUTLET CATEGORY 5E
[Symbol]	3 WAY SWITCH	[Symbol]	DATA OUTLET (CATEGORY 5E)
[Symbol]	110 V DUPLEX OUTLET	[Symbol]	EXTERIOR LAMP W/ MOTION DETECTOR
[Symbol]	110 V ARCH FAULT INTERRUPTER DUPLEX OUTLET	[Symbol]	WALL SCONCE
[Symbol]	0OR DUPLEX) OUTLET	[Symbol]	CEILING CAN LIGHT
[Symbol]	110 V GROUND FAULT INTERRUPTER DUPLEX OUTLET	[Symbol]	EXHAUST FAN
[Symbol]	CARBON MONOXIDE DETECTOR (HARD WIRE)	[Symbol]	CEILING LIGHT IN EMERGENCY CIRCUIT
[Symbol]	SMOKE DETECTOR (HARD WIRED)	[Symbol]	INDICATES CIRCUIT BREAKER
[Symbol]	JUNCTION BOX	[Symbol]	INCANDESCENT SURFACE MOUNT LIGHT FIXTURE
[Symbol]	JUNCTION BOX "F" INDICATES FURNACE		
[Symbol]	PENDANT LIGHT		

**EXISTING BASEMENT ELECTRICAL TO REMAIN NO WORK**

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**ELECTRICAL PLAN & NOTES**

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