GENERAL INSTRUCTIONS

THESE DRAWINGS ARE SCOPE DOCUMENTS INDICATING THE GENERAL PROJECT DESIGN CONCEPT, DIMENSIONS OF THE PROJECT, MAJOR ARCHITECTURAL ELEMENTS, AND BASIC ORGANIZATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY DESCRIBE OR INDICATE ALL MATERIALS OR WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR(S) SHALL FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE PROPOSED PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK OR TO SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT. FURTHER MORE THE ARCHITECT MAKES NO WARRANTY EXPRESSED OR IMPLIED ON THESE DOCUMENTS.

DUE TO THE NATURE OF THIS WORK THE ARCHITECT DOES NOT WARRANT THE EXISTING CONDITIONS AS DEPICTED IN THESE DRAWINGS AS BUILT CONDITIONS. THE MEASUREMENTS ON THESE DRAWINGS ARE REASONABLY ACCURATE FOR THE PURPOSE OF "FIGURING." HOWEVER, IN THE EXECUTION OF WORK ON THE JOB, DO NOT SCALE DRAWINGS. EACH CONTRACTOR IS REQUIRED TO VERIFY ALL DIMENSIONS WITH THE ACTUAL CONDITIONS AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT, OWNER, OR THE OWNER'S REPRESENTATIVE.

CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS AND FEES REQUIRED TO PERFORM THE WORK, UNLESS DIRECTED OTHERWISE BY OWNER.

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND SAFETY OF HIS OWN MATERIALS AND WORK, AND FOR PROPERLY REMOVING HIS DEBRIS FROM THE JOB SITE. GENERAL CONTRACTOR (GC) SHALL PROVIDE FOR ALL SITE DEMOLITION AND DEBRIS REMOVAL REQUIRED TO PERFORM NEW CONSTRUCTION WHILE ADEQUATELY MAINTAINING THE PREMISES AND ADJACENT PREMISES TO INSURE NORMAL OCCUPANCY AND SECURITY. THE GC SHALL COORDINATE PROPER TRANSPORTATION AND STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING OF EXISTING FLOOR.

CONTRACTORS INSTALLING PIPES, DUCTS AND CONDUIT WILL BE REQUIRED TO DO ALL CUTTING AND PATCHING IN CONNECTION WITH THEIR WORK, INCLUDING EXCAVATION AND DIGGING. THE OWNER WILL ASSUME NO RESPONSIBILITY FOR THE COST OF CHANGES OR EXTRA WORK MADE NECESSARY BY THE FAILURE OF TRADES TO COORDINATE THEIR WORK DURING CONSTRUCTION.

WHERE APPLICABLE THE GC SHALL CONSTRUCT PHYSICAL BARRIERS AROUND AREAS UNDER CONSTRUCTION AS REQUIRED TO ENSURE GENERAL PUBLIC AND PERSONAL SAFETY.

THE GC SHALL SUPERVISE AND DIRECT THE WORK, HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS. TECHNIQUES. SEQUENCES AND PROCEDURES. THE GC SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER HIS CONTRACT. ALL WORK SHALL BE COMPLETED USING PRACTICES ACCEPTED AND ENDORSED BY THE CORRESPONDING TRADE INDUSTRIES.

THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.

THE CONTRACT AND SUBCONTRACT AMOUNTS SHALL PROVIDE COMPLETE WORKING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS COMMENSURATE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES.

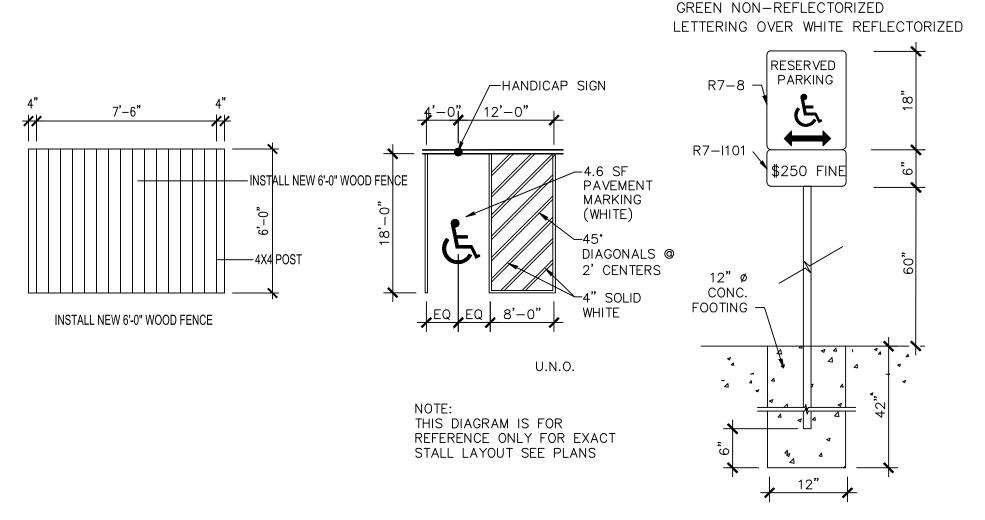
WHEN WALLS ARE TO BE "ALIGNED", THE ALIGNMENT OF SUCH WALLS IS TO THE OUTSIDE FINISHED SURFACE, SUCH AS DRYWALL SURFACE.

ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE. DIMENSIONS AND NOTES FOR A GIVEN CONDITION ARE TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

WHERE NEW WORK ADJOINS EXISTING, ALL SUCH NEW WORK SHALL BE PROPERLY INTERGRATED WITH THE EXISTING TO ENSURE UNIFORM APPEARANCE. ANY REPAIR WORK REQUIRED TO EXISTING WORK SHOULD BE TAKEN CARE OF BY THE CONTRACTOR - PROVIDING ALL NECESSARY CUTTING, FITTING AND PATCHING AND SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS FOR THIS WORK. ALL WORK REQUIRING SPECIAL DETAILING, AND NOT DETAILED ON THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES TO AVOID INTERFERENCE, TO PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS.

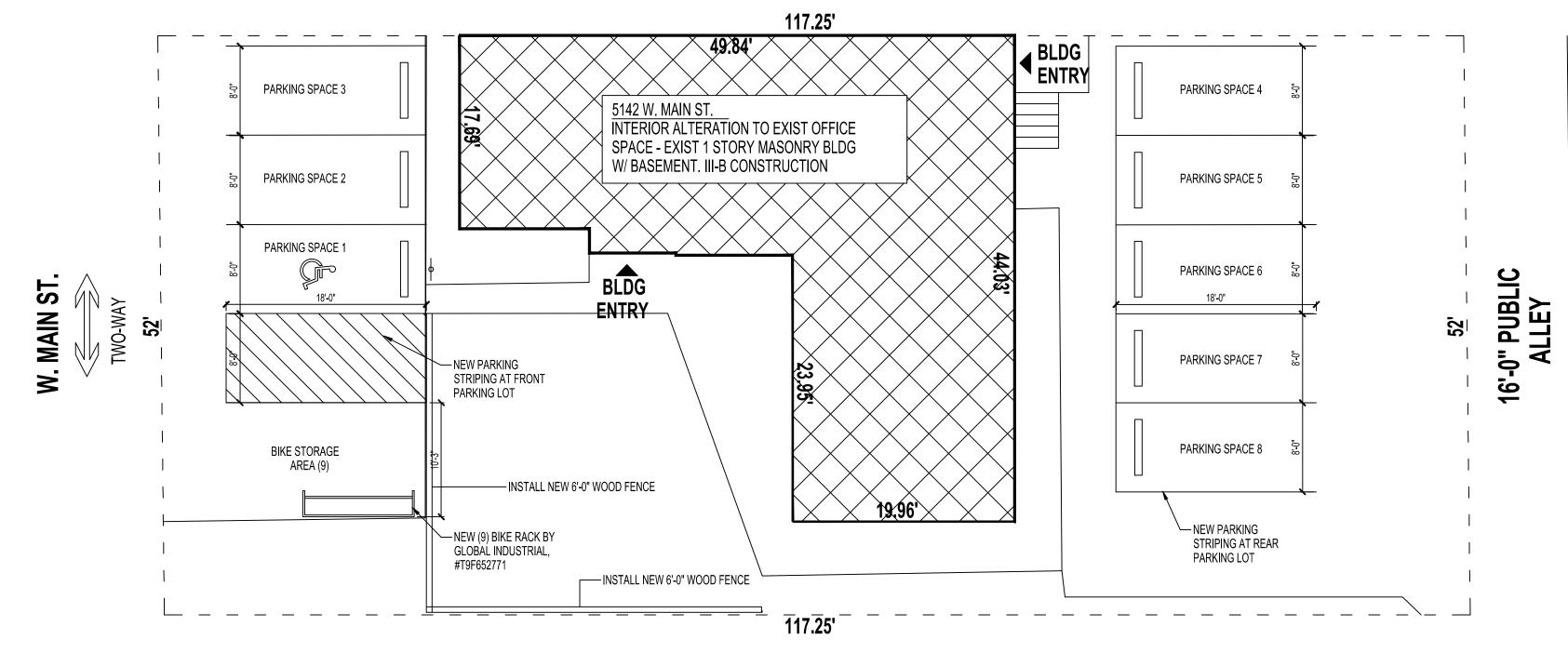
THE ARCHITECT HAS NO CONTRACTUAL DUTY TO CONTROL MEANS AND METHODS OF THE WORK NOR TO PROVIDE JOB SITE SUPERVISION, ENSURE SAFETY OR CONSTRUCTION MANAGEMENT AND DOES NOT VOLUNTARILY ASSUME ANY SUCH RESPONSIBILITIES.



HANDICAP PARKING STALL LAYOUT

NOT TO SCALE

ZONING DATA		SCOPE OF WORK	ABBREVIATIONS:
Lot dimensions: Zoning district:	5142 W. MAIN ST. 52.0' x 117.25" 6,097 SQ.FT.	INTERIOR ALTERATION TO EXIST BASEMENT TO A RESIDENTIAL UNIT INSTALL A NEW 6'-0" WOOD FENCE IN THE FRONT YARD III-B CONSTRUCTION	& AND N.I.C. NOT INCLUDED IN CONTRAC O AT N.T.S. NOT TO SCALE CONC. CONCRETE O.C. ON CENTER CJ CONTROL JOINT R RADIUS DIA. DIAMETER RET. RETAINING EL ELEVATION SIM. SIMILAR
Proposed occupancy: Maximum allowable floor area: Exist floor area Basement: First floor: Total floor area: Existing yards Front yard setback: Side yard setback: Rear yard setback: Off street loading: Off street parking:	BUSINESS EXIST 1,432.69 sqft. 1,432.69 sqft. 2,865.38? sqft. EXIST - SEE PLAN EXIST - SEE PLAN EXIST - SEE PLAN EXIST - SEE PLAN 3 3	NOTE: THIS PROJECT SHLALL COMPLY WITH THE FOLLOWING BUIDLING CODES: 2012 INTERNATIONAL BUILDING CODE 2014 NATIONAL ELECTRICAL CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FUEL GAS CODE 2012 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2014 STATE OF ILLINOIS PLUMBING CODE	EXP EXPANSION TS TOP STEP ELEVATION EX EXISTING TYP. TYPICAL FD FLOOR DRAIN U.N.O. UNLESS NOTED OTHERWISE FE FINISHED ELEVATION V.I.F. VERIFY IN FIELD FFE/FF FINISHED FLOOR ELEVATION WT. WEIGHT LBS, # POUNDS W/ WITH MANHOLE MAX. MAXIMUM MIN. MINIMUM



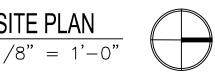
PROJECT DATA		
USE GROUP CLASSIFICATION	RESIDENTIAL	_
CONSTRUCTION TYPE	III-B	
TOTAL BASEMENT FLOOR AREA	1432SF	
REQUIRED NUMBER OF EXITS:	1	ACTUAL 1

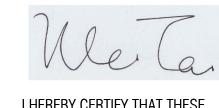
INDEX OF DRAWINGS

AO PROJECT NOTES & SITE PLAN

A1 DEMO PLAN A2 FLOOR PLANS & NOTES

E1 ELECTRICAL PLAN & NOTES





I HEREBY CERTIFY THAT THESE DRAWINGS ARE PREEPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM WITH APPLICABLE CODES.

LIC EXPIRES NOV 30, 2022

TW ARCHITECT INC 2425 S WENTWORTH AVE CHICAGO IL 60616

PHONE: (312) 912-5798 EMAIL: twarchitect98@yahoo.com

LICENSE NO: 001-022013 EXPIRES: 11/30/2022

PROPERTY OWNER: BRENDA PHUNG. 773-968-7559 brendap@dititanium.com

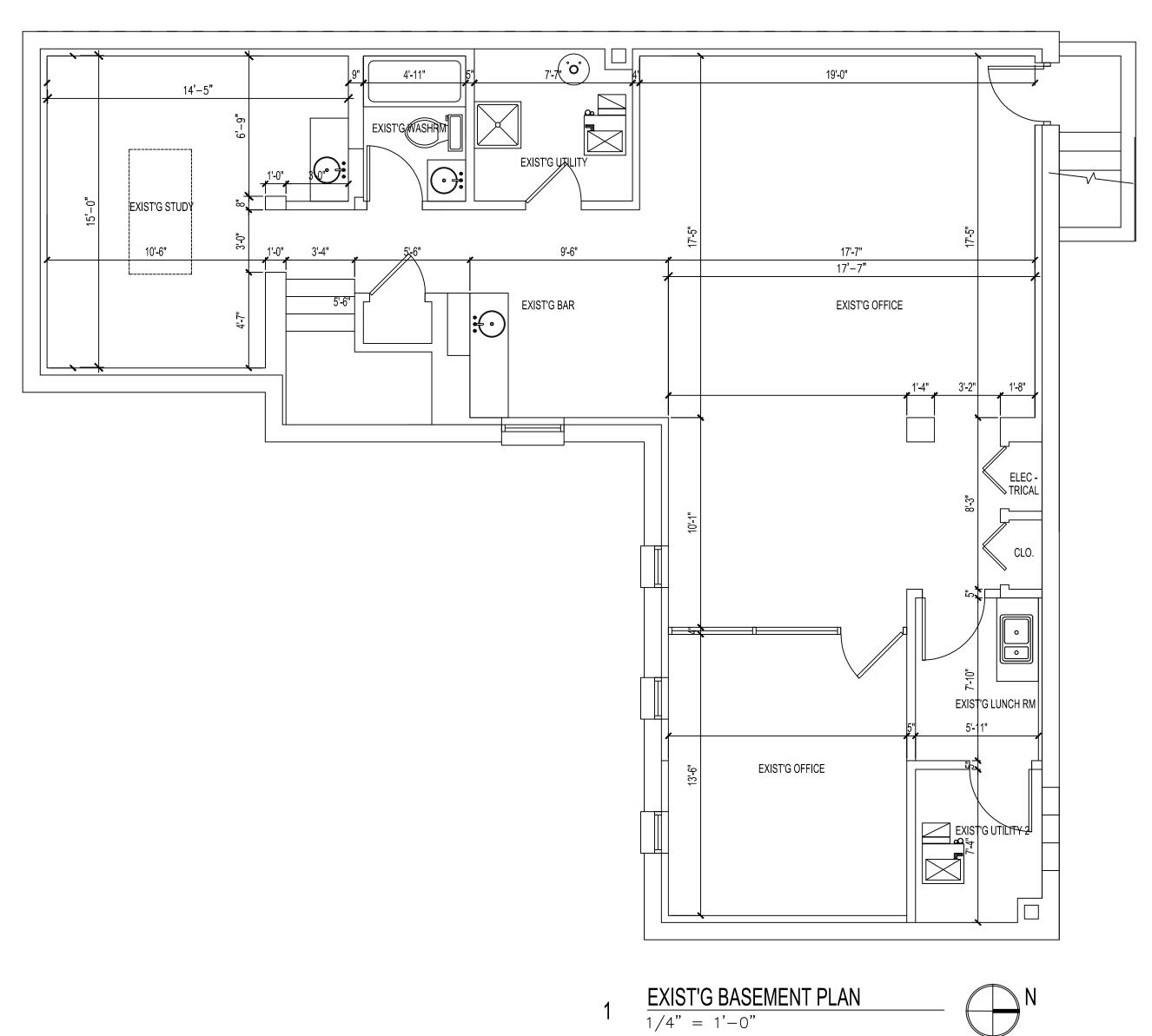
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08/28/2021 SSUED FOR PERMIT



PROJECT NOTES & SITE PLAN



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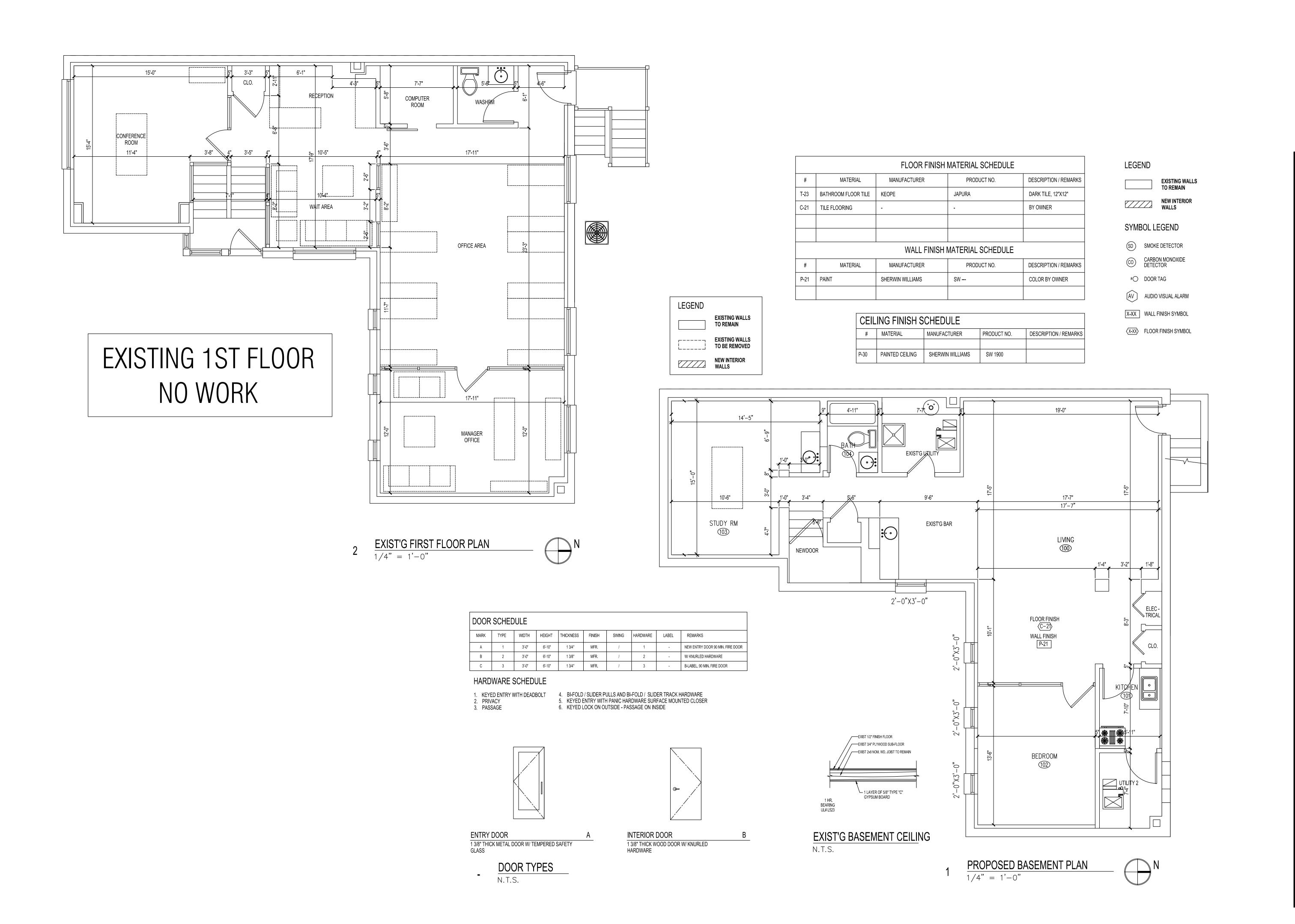
brendap@dititanium.com

INTERIOR REMODELING
COMMERICAL/RESIDENTAIL
UNITS
5142 WEST MAIN STREET
SKOKIE ILLINOIS 60077

ISSUES DATE
ISSUED FOR PERMIT 08/28/2021



PLAN



TW ARCHITECT INC 2425 S WENTWORTH AVE CHICAGO IL 60616

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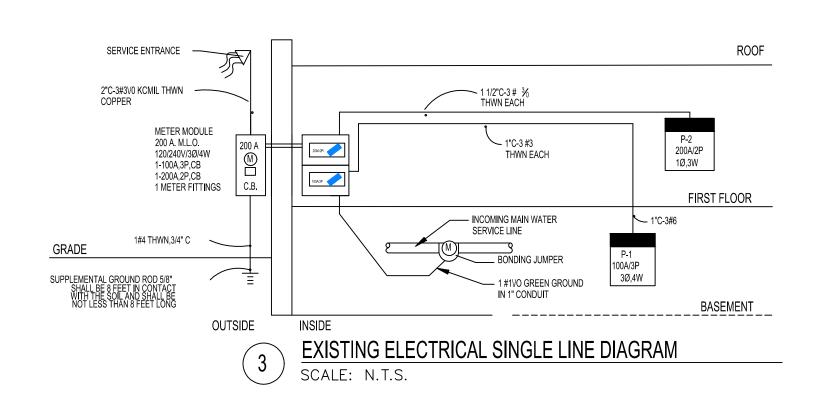
STREE 60077

INTERIOR COMMERICA 5142 WES SKOKIE

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FLOOR PLANS & NOTES



Service Building Load Calculation

Address: 5042 MAIN ST, SKOKIE IL Outside Building Dimensions: Length 44/dth Floots Type of Electrical Service: 3 Phase 4	2
Wire 120/240 Volt 2004 Wipere/s	
Service Conductors 14-28-1480 Size 4 #3\(1000) Conduit 2 1/2 IMC, Rigid	
Building areas:	
1st Floor Commercial1,363 Basement Commercial1,363	
Total square foot area2726	
LIGHTING @3VA/SF.	8178
Receptacle load @ 1AV/SQ.FT.	2726
2) Remote "AC-1; AC-2" Units @ 6,400 VA each	12800
1) Other misc.,fixed appliances over 1600 Watts each	1600
Total Commercial VA:	<u>2</u> 5304
Commercial area Amps:	70.2
Use a 200A/3ph Service 110V/208V. 3PH. 4W	

TOTAL AMPS 70 Amp

NOTE:
BATTERY UNITS SHALL
BE FED FROM THE
LIGHTING CIRQUIT
THAT ILLUMINATES
THE AREA OF THE
BATTERY UNIT

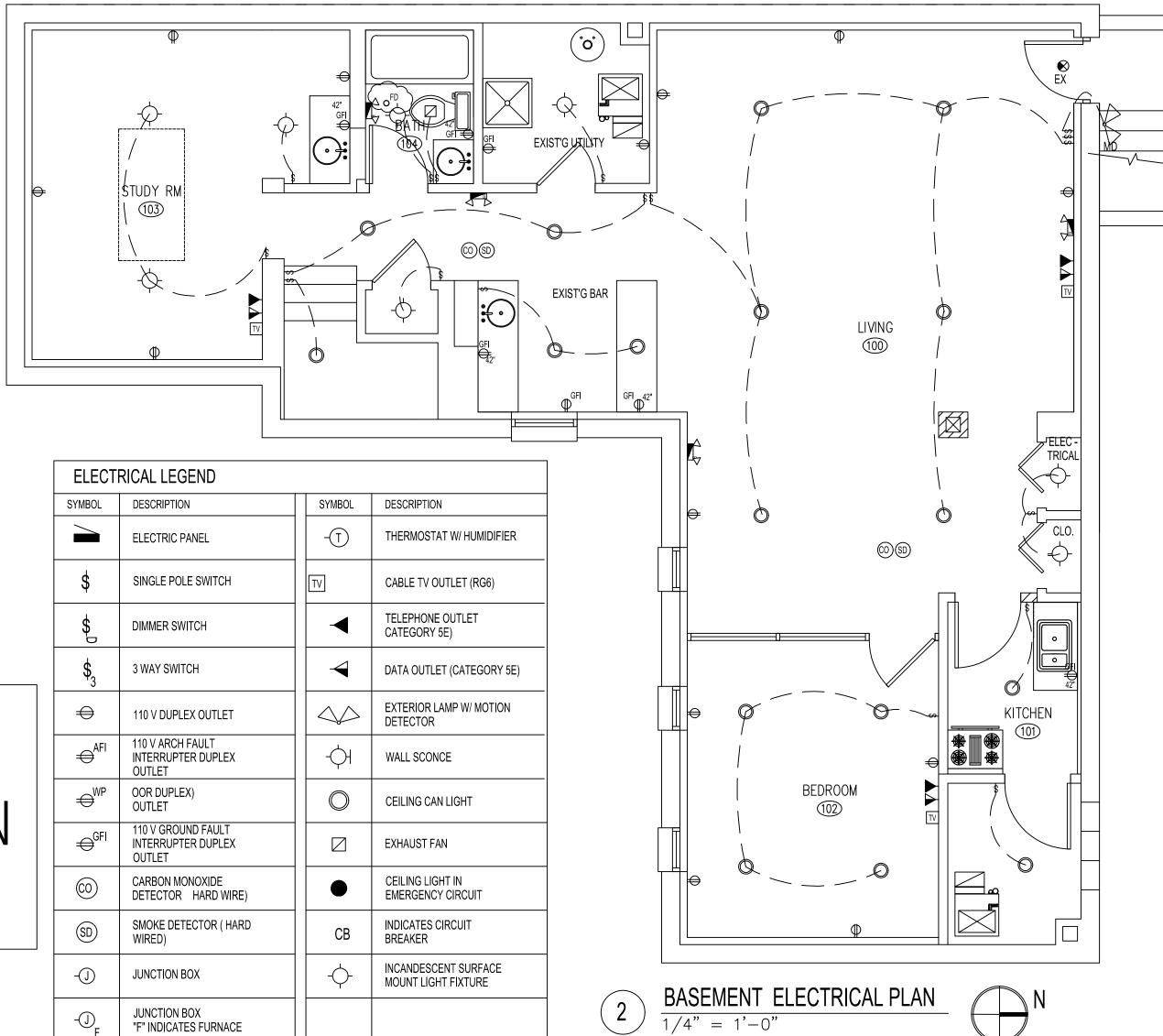
FIXTURE TYPE		LAMPS		WATTS /	TOTAL	VOLTS	MANUFACTURER	DESCRIPTION
		TYPE	BULB	LAMP	FIXTURE WATTAGE		CATALOG#	
F1	0	LED		25	975	120	LIGHTOLIER # C6P38D-C6LV	6"INCANDESCENT OPEN DOWNLIGHT LUMINAIRE WITH 16 GA. SPECULAR ALZAK REFLECTOR, AND WHITE SELF FLANGE.
F2	\$\dagger\$	LED		26	260	120	LIGHTOLIER # 5230WH226U	SURFACEMOUNTED 16" DIA, LIGHT FIXTURE W/ ACRYLIC DIFFUSER.
F3	4₽	LED		8	56	120	LIGHTOLIER # EA1-50N-RT9	CHICAGO APPROVED EMERGENCY BATTERY LIGHT. REMOTE HEAD WHERE REQUIRED.
EX	⊗	LED		14	140	120	SURE - LITE # EAC SERIES	CHICAGO APPROVED EMERGENCY EXIT SIGN TYPE AS REQUIRED. (WALL OR CEILING)
F4	Ю _{мо}	LED		35	210	120		CHICAGO APPROVED MOVE DETECT WATER PROFF LIGHTFIXTURE . (WALL)

LIGHTING NOTES

ALL FIRE ALARM, SMOKE DETECTOR, NIGHT LIGHT,
AND EXIT SIGN CIRCUITS SHALL BE SECURED WITH
A LOCKOUT DEVICE TO PREVENT ACCIDENTAL
DEACTIVATION. INTERLOCK MOTORIZED DAMPERS
MUST BE INSPECTED AT ROUGH AND FINAL STAGES
BY BOTH THE ELECTRICAL AND MECHANICAL
INSPECTORS.

ALL RECEPTACLES SHALL BE RATED AT NO LESS THAN 20 AMPS WITH #12 COPPER WIRE

STORAGE BATTERIES FOR POWERING EMERGENCY SYSTEM SHALL BE OF SUITABLE RATING AND CAPACITY TO SUPPLY AND MAINTAIN THE TOTAL EMERGENCY LOAD FOR A PERIOD OF 1.5 HOURS MINIMUM WITHOUT THE VOLTAGE APPLIED TO THE LOAD FALLING BELOW 87.5% OF NORMAL



EXISTING BASEMENT
ELECTRICAL TO REMAIN
NO WORK

DENIDANT HIGHT

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SSUES DATE
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ELECTRICAL PLAN & NOTES